



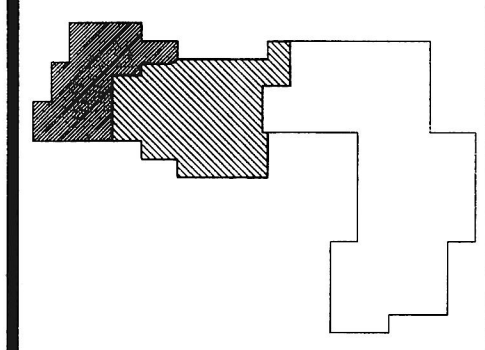
HOFMANN ASSOCIATES, INC.
606 Baltimore Ave.
Suite 102
Towson, Maryland 21204
410.828.9090
fax 410.828.4433

MARYLAND STATE DENTAL

At
6410 DOBBIN ROAD
Howard County, Maryland

Architects
HOFMANN ASSOCIATES, INC.
606 Baltimore Avenue - Suite 102
Towson, Maryland 21204
410.828.9090
Fax 410.828.4433

KEY PLAN

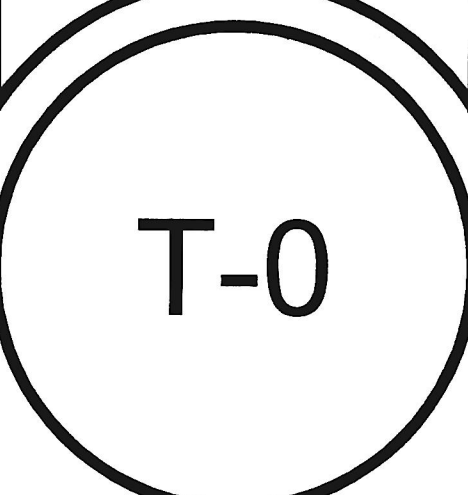


PROJECT NAME:
Maryland State Dental
Association - Suites F & G
6410 DOBBIN ROAD
COLUMBIA, MD 21045
DEVELOPER:
AMB PROPERTIES

| ISSUE DATE | |
|------------|-----------------|
| 02-15-10 | PERMIT |
| 02-17-10 | TENANT COMMENTS |
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THE CONCEPTS, IDEAS, DESIGNS AND IMAGES ARE INTENDED ONLY FOR THE PROJECT SPECIFIED ON THIS SHEET AND ARE THE SOLE PROPERTY OF HOFMANN ASSOCIATES, INC. THEY ARE NOT TO BE REPRODUCED OR USED BY OTHERS WITHOUT WRITTEN PERMISSION BY HOFMANN ASSOCIATES, INC.

DRAWING INDEX & GENERAL INFORMATION



project no. : 09-169

ABBREVIATIONS

| | | | | |
|--|---|---|--|---|
| <p>@ A.B. ACT. ADA A.F.F. ALT. ALUM. APPROX. ARCH. AUTO</p> <p>BD. BLDG. BLK. BM. B.O. BRNG./BRG. BRK.</p> <p>CEIL./CLG. CJT. CL. CLO. CMU COL. CONC. CONST. CONT. CORR. CT</p> <p>D DEM DF DIA. DIM. DN. DO D.P. DR DS DTL DWG.</p> <p>EA. E.F. EL. ELEC ELEV. EMER E.F. EQ. EQUIP. EST E.W. E.W.H. EXIST./EXTG. EXP EXP.-JT./E.-JT. EXT.</p> <p>FACP F.D. F.E. F.E.C. FIN. FLG. FLR./FL. FLUOR. FND F.R. FTG</p> <p>GA. GALV. G.B. G.C. GYP.</p> | <p>AT ANCHOR BOLT ACOUSTICAL CEILING TILE AMERICAN DISABILITY ACT ABOVE FINISH FLOOR ALTERNATE ALUMINUM APPROXIMATE ARCHITECTURAL AUTOMATIC</p> <p>BOARD BUILDING BLOCK BEAM BOTTOM BEARING BRICK</p> <p>CEILING CONTROL JOINT CENTERLINE CLOSET CONCRETE MASONRY UNIT COLUMN CONCRETE CONSTRUCTION CONTINUOUS CORRIDOR CERAMIC TILE</p> <p>DRAIN DEMOLISH, DEMOLITION DRINKING FOUNTAIN DIAMETER DIMENSION DOWN DITTO DAMP PROOFING DOOR DOWN SPOUT DETAIL DRAWING</p> <p>EACH EXHAUST FAN ELEVATION ELECTRIC ELEVATION EMERGENCY ELECTRICAL PANEL EQUAL EQUIPMENT ESTIMATE EACH WAY ELECTRIC WATER HEATER EXISTING EXPANDED, EXPANSION EXPANSION JOINT EXTERIOR</p> <p>FIRE ALARM CONTROL PANEL FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH (ED) FLASHING FLOOR (ING) FLUORESCENT FOUNDATION FIRE RATED FOOTING</p> <p>GAUGE GALVANIZED GRAB BARS (HANDICAPPED) GENERAL CONTRACTOR GYPSUM WALL BOARD</p> | <p>H.B. H.C. HDCP. HDW HGT./HT. H.M. HOR. H.P. HR. HWI</p> <p>ID IG INCL INSUL. INT. INV J.C. JT.</p> <p>LAV. L.P. (LP) LT</p> <p>MACH. MAS MAX MECH. MET./MTL. MEZZ. MFR MH M.H. MIN. MISC. M.O. MULL M.W.P.</p> <p>N NORTH, NEUTRAL N.I.C. N.I.S. NO. NOM. OA ON CENTER O.D. OPENING OPP. PARTN P.D. P.WD Q.T.</p> <p>R RISER R/RAD. R.D. R.L. R.M. R.O. RTU</p> <p>SHT. SPEC. SQ S/S S/L STOR. STRUCT. SYST.</p> | <p>HOSE BIB HOLLOW CORE HANDICAPPED HARDWARE HEIGHT HOLLOW METAL HORIZONTAL HIGH POINT HOUR HOT WATER HEATER</p> <p>INSIDE DIAMETER INSULATED GLASS INCLUDE (D) (ING) INSULATION INTERIOR INVERT JANITORS CLOSET JOINT</p> <p>LAVATORY LOW POINT LIGHT</p> <p>MACHINE MASONRY MAXIMUM MECHANICAL METAL MEZZANINE MANUFACTURE (ER) MANHOLE, METAL HALIDE MOUNTING HEIGHT MINIMUM MISCELLANEOUS MASONRY OPENING MULLION MEMBRANE WATERPROOFING</p> <p>NORTH, NEUTRAL NOT IN CONTRACT NOT TO SCALE NUMBER NOMINAL</p> <p>OVERALL ON CENTER OUTSIDE DIAMETER OPENING OPPOSITE PARTITION PAINTED PLYWOOD QUARRY TILE</p> <p>RISER RADIUS ROOF DRAIN RAIN LEADER ROOM ROUGH OPENING ROOF TOP UNIT</p> <p>SHEET SPECIFICATIONS SQUARE STAINLESS STEEL STEEL STORAGE STRUCTURAL SYSTEM</p> | <p>TEL. TEMP. TAG T.J. TRK. TYP.</p> <p>U.C. UL</p> <p>V.B. V.C.T. VERT. VEST.</p> <p>W W/IN W/OUT WC WD.</p> <p>TELEPHONE TEMPERED TONGUE GROOVE TOP OF JOIST THICK (NESS) TYPICAL</p> <p>UNDER CUT UNDERWRITERS LABORATORY</p> <p>VAPOR BARRIER, VINYL COVE BASE VINYL COMPOSITION TILE VERTICAL VESTIBULE</p> <p>WEST, WIDE, WIDTH WITH, WIDE WITHIN WITHOUT WATER CLOSET WOOD</p> |
|--|---|---|--|---|

GENERAL NOTES

- A. GC IS RESPONSIBLE FOR SHOP DRAWING REVIEW.
- B. GC TO NOTIFY ARCHITECT FOR THE FOLLOWINGS:
 1. DIMENSIONAL INCONSISTENCIES, ERROR AND OMISSIONS
 2. COORDINATION PROBLEMS BETWEEN DRAWINGS OR BETWEEN DRAWINGS AND SPECIFICATIONS
 3. AREAS OF INFORMATION INADEQUATE FOR ACCURATE BIDDING OR CONSTRUCTION
 4. INFORMATION THAT MIGHT CAUSE CONFLICTS OF SCOPE OR SEQUENCING BETWEEN TRADES
 5. ITEMS THAT MIGHT INADVERTENTLY RESULT IN UNDESIRABLE AESTHETICS
 6. DETAILS THAT CAN BE LESS EXPENSIVELY CREATED
 7. DETAILS THAT DO NOT SEEM TO HAVE A FAIR COST/BENEFIT BALANCE
 8. DETAILS THAT THREATEN THE OVERALL PROJECT BUDGET COMPLIANCE
- C. THE GC'S RECOMMENDATIONS MUST BE MADE WITH TACT AND DIPLOMACY AND FAIR IDEA OF GAINS IF RECOMMENDED CHANGES ARE MADE.

CODE DATA FOR TENANT

- 1. CODES:
 - 2006 INTERNATIONAL BUILDING CODE
 - 2006 LIFE SAFETY CODE
- ALL WORK SHALL BE PERFORMED ACCORDING TO JOINT REQUIREMENTS & DECISIONS OF ALL LOCAL AUTHORITIES.
- 2. DESIGN CRITERIA
 - USE GROUP: B
 - CONSTRUCTION TYPE: IIB
 - TENANT EXISTING SPACE = 5,226 SF
 - TENANT EXPANSION SPACE = 2,939 SF
 - TENANT GROSS AREA = 8,165 SF
- 3. TENANT SPACE IS NOT SPRINKLERED.

DRAWING INDEX

- ARCHITECTURAL
- T-0 DRAWING INDEX & GENERAL INFORMATION
 - T-1 OVERALL BUILDING PLAN
 - T-2 DEMOLITION & PARTIAL FLOOR PLANS
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 - T-4 SCHEDULES, NOTES, & DETAILS