



CONSTRUCTION DOCUMENTS FOR:

# MICA MARYLAND INSTITUTE COLLEGE OF ART

## ANNEX BUILDING 116 W. LANVALE STREET BALTIMORE, MARYLAND 21217

PROJECT MANAGER:  
**MICA**

1300 W. MOUNT ROYAL AVENUE  
BALTIMORE, MARYLAND 21217  
PHONE: 410-462-7591

ARCHITECT/ MEP ENGINEER:  
Arium AE, LLC

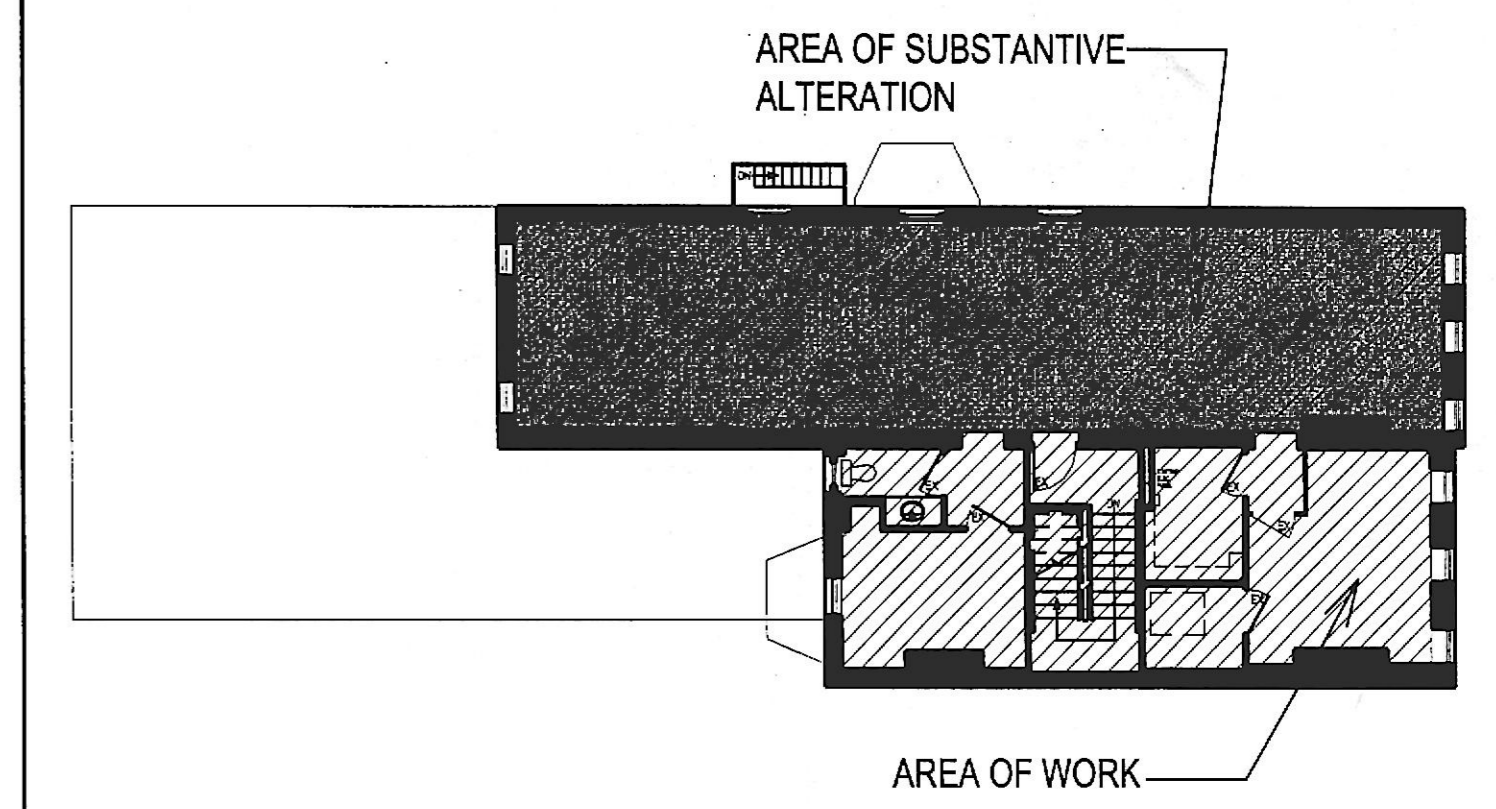
5537 TWIN KNOLLS ROAD  
SUITE 435  
COLUMBIA, MD 21045  
PHONE WASHINGTON: 301-621-4600  
PHONE BALTIMORE: 410-730-2300

CONTRACTOR:  
CONSTANTINE COMMERCIAL CONSTRUCTION, INC.

9494 DEERCO ROAD  
TIMONIUM, MD 21093  
PHONE: 410-453-0150

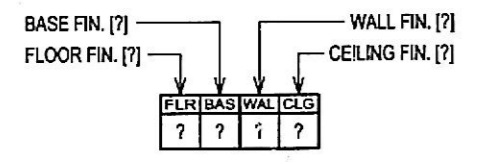
### KEY PLAN

NOT TO SCALE



### STANDARD FINISH & EQUIPMENT SCHEDULE

THE WORK OF THIS CONTRACT ENCOMPASSES THE CONSTRUCTION OF A FULLY FINISHED PROJECT. AS SUCH, UNLESS NOTED SPECIFICALLY IN THE PLANS, THE CONTRACTOR SHALL ASSURE THAT ALL AREAS WITHIN THE PROJECT EXTENTS, OR CONSTRUCTION INCLUDED IN THIS CONTRACT WILL BE EITHER BUILT IN ACCORDANCE WITH THE FOLLOWING STANDARDS OR BUILT IN ACCORDANCE WITH ONE OF THE ALTERNATE STANDARDS NOTED IN THE PLANS.



**FLOOR FINISHES**  
CS CARPET STANDARD:  
12" BROADLOOM, DIRECT GLUE DOWN, PM TO SELECT.  
EX EXISTING FLOOR FINISH TO REMAIN:  
CLEAN AND PROTECT DURING CONSTRUCTION.

**NOTE:**  
ALL TRANSITIONS FROM VCT TO CARPET SHALL HAVE VINYL TRANSITION STRIP. CONTRACTOR TO SELECT APPROPRIATE ADaptor SIZE FOR THE DIMENSIONAL THICKNESS OF THE FLOOR MATERIALS. JOHNSONITE, COLOR: TO BE SELECTED, UNLESS NOTED OTHERWISE.  
ALL TRANSITIONS SHALL OCCUR AT THE CENTERLINE OF THE DOOR AND SHALL BE ADA COMPLIANT.

**BASE FINISHES**  
VB VINYL BASE:  
JOHNSONITE, 4" HIGH VINYL COVE, 1/8" THICK, ROLL INSTALLATION, COLOR: PM TO SELECT  
EX EXISTING BASE TO REMAIN

**PARTITION FINISHES**  
PE WALL PANEL, EGG-SHELL FINISH:  
SHERWIN WILLIAMS, EGG-SHELL FINISH, COLOR: PM TO SELECT  
EX EXISTING WALL FINISH TO REMAIN

**CEILING FINISHES**  
EX EXISTING CEILING TO REMAIN:  
REPLACE DAMAGED AND MISSING COMPONENTS WITH NEW COMPONENTS. NEW COMPONENTS TO MATCH EXISTING. ENTIRE CEILING SHALL BE LIKE NEW IN APPEARANCE.

GB GYPSUM BOARD CEILING:  
PAINTED FLAT WHITE TO MATCH ADJACENT CEILING TILE  
GYPSUM BOARD BULKHEADS:  
HORIZONTAL SURFACE PAINT FLAT WHITE TO MATCH ADJACENT SUSPENDED CEILING TILE.  
VERTICAL SURFACE TO MATCH ADJACENT WALL SURFACE.

CEILING HEIGHT: SEE REFLECTED CEILING PLAN

**WINDOWS**  
WINDOW BLINDS AT EXTERIOR WINDOWS:  
EXISTING TO REMAIN. RAISE DURING CONSTRUCTION. AFTER CONSTRUCTION COMPLETE, LOWER, CLEAN AND MAKE OPERABLE. REPLACE ALL DAMAGED OR MISSING BLINDS AND/OR COMPONENTS. IF NECESSARY REPLACE WITH NEW TO MATCH EXISTING. ALL EXTERIOR WINDOWS SHALL HAVE BUILDING STANDARD BLINDS.

**WINDOW SELLS:**  
EXISTING TO REMAIN. PATCH AS NECESSARY.

**EQUIPMENT**  
FIRE EXTINGUISHERS:  
UL LABELED 2A-10BC, UNLESS NOTED OTHERWISE.  
F.E. CABINETS: SEMI RECESSED, 1 PER F.E. MAXIMUM PROJECTION FROM FACE OF WALL TO BE 4".

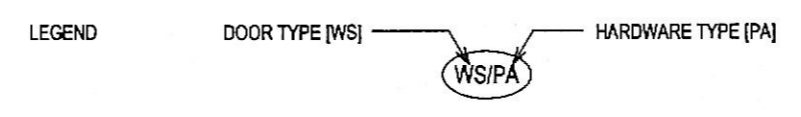
STANDARD JL INDUSTRIES, AMBASSADOR STEEL FIRE EXTINGUISHER SEMI-RECESSED CABINET WITH POWDER-COATED FINISH, FULL CLEAR ACRYLIC GLAZING AND ADA FLUSH FULL HANDLE.

**NUMBER OF FIRE EXTINGUISHERS:**  
QUANTITY AND LOCATION AS SHOWN IN PLAN, SUBJECT TO FINAL REVIEW BY LOCAL GOVERNING OFFICIAL. (SEE SPEC.)

**ELECTRICAL**  
ELECTRICAL DEVICES:  
REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL DEVICE SPECIFICATIONS. ELECTRICAL DEVICES (OUTLETS, SWITCHES, ETC.). COLOR: MATCH EXISTING. COVER PLATES (OUTLETS, SWITCHES, ETC.); MATCH EXISTING  
LIGHT FIXTURES, UNLESS NOTED OTHERWISE:  
LINEAR LED PENDANTS, SEE ELEC. DRAWINGS  
SEE ELEC DRAWINGS.

### DOOR SCHEDULE

**NOTES:**  
THE CONTRACTOR SHALL PROVIDE AN ALTERNATE PRICE IN THE BID TO REPLACE ALL EXISTING NON-COMPLIANT ADA HARDWARE WITHIN THE AFFECTED SUITE WITH NEW BUILDING STANDARD LEVER STYLE HARDWARE OF THE SAME LATCHING OR LOCKING TYPE. NEW LEVERS SHALL BE OF THE TYPE SPECIFIED IN THE STANDARD FINISH AND EQUIPMENT SCHEDULE.



**STANDARD HARDWARE TYPES:**  
EX EXISTING HARDWARE TO REMAIN.

**STANDARD DOOR TYPES:**  
EX EXISTING DOOR  
EXISTING DOOR, FRAME, AND HARDWARE TO REMAIN, UNLESS NOTED OTHERWISE.

### DRAWING INDEX

**ARCHITECTURAL**  
T1 TITLE SHEET  
T2 SPECIFICATIONS  
T3 DRAWINGS STANDARDS AND DETAILS  
T4 FLOOR, DEMOLITION PLAN, CEILING, FINISH PLAN

**STRUCTURAL**  
S10 STRUCTURAL SPECS AND DETAILS  
S20 STRUCTURAL PLAN AND SECTION

**MECHANICAL**  
M1 COVER SHEET - MECHANICAL  
M2 FLOOR PLANS - MECHANICAL  
M3 DETAILS AND SCHEDULES - MECHANICAL

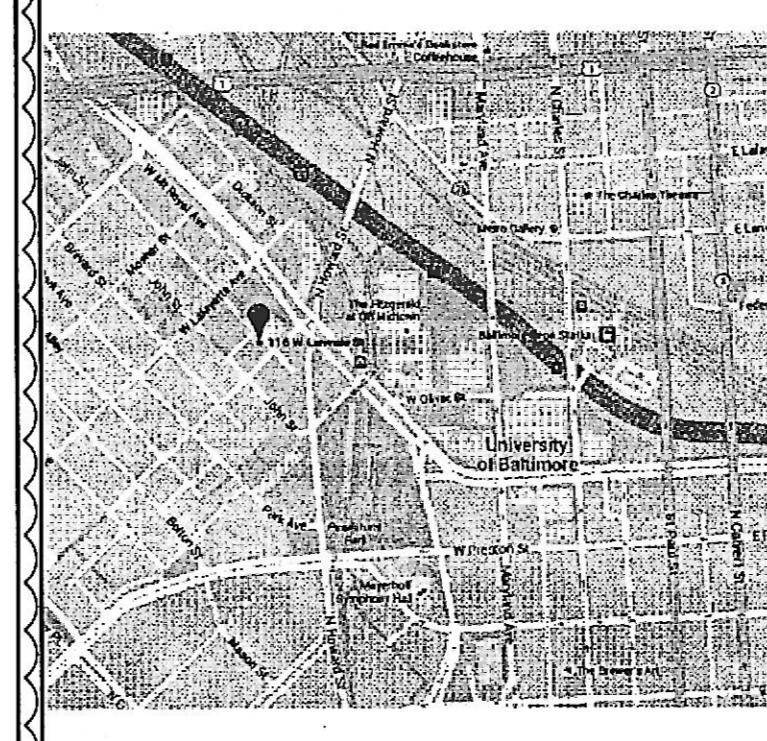
**ELECTRICAL**  
E-1 COVER SHEET - ELECTRICAL  
E-2 FLOOR PLANS - ELECTRICAL  
E-3 ELECTRICAL RISER DIAGRAM & SCHEDULES

### INDOOR ENVIRONMENTAL QUALITY NOTES:

- GENERAL MATERIAL AND FINISH NOTES:**
1. A MINIMUM OF 85% OF ALL SITE-APPLIED ADHESIVES AND SEALANTS SHALL MEET VOC LIMITS PER 2012 IGCC 806.2. THIS INCLUDES, BUT IS NOT LIMITED TO: INDOOR CARPET ADHESIVES (VOC LIMIT: 50), VCT ADHESIVES (VOC LIMIT: 50), COVE BASE ADHESIVES (VOC LIMIT: 50) AND ARCHITECTURAL SEALANTS (VOC LIMIT: 250). G.C. SHALL USE ADHESIVES AND SEALANTS MEETING THESE VOC LIMITS.
  2. A MINIMUM OF 85% OF ALL SITE-APPLIED PAINTS AND COATINGS SHALL COMPLY WITH 2012 IGCC SECTION 806.3 FOR VOC CONTENT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO: FLAT COATINGS (VOC LIMIT: 50), NONFLAT COATINGS (VOC LIMIT: 100), NONFLAT HIGH-GLOSS COATINGS (VOC LIMIT: 150), FLOOR COATINGS (VOC LIMIT: 100), PRIMER/SEALERS/UNDERCOATERS (VOC LIMIT: 100), STAINS (VOC LIMIT: 250). ALL NEW SELECTED FLOORING AND WALL PAINT SHALL MEET THESE VOC LIMITS.
  3. A MINIMUM OF 85% OF THE TOTAL AREA OF FLOORING INSTALLED SHALL COMPLY WITH 2012 IGCC SECTION 806.4 FOR VOC EMISSION LIMITS. THE NEW CARPET SELECTED SHALL COMPLY WITH THE FLOORING VOC EMISSION LIMITS.
  4. NO NEW ACUSTICAL CEILING TILES AND WALL SYSTEMS ARE IN PROJECT SCOPE.
  5. A MINIMUM OF 85% OF ALL INSULATION SHALL COMPLY WITH 2012 IGCC SECTION 806.6. G.C. SHALL ENSURE ALL NEW INSULATION COMPLES.

### LOCATION MAP

NOT TO SCALE



### CODE DATA

**BUILDING ADDRESS:** 116-118 W. LANVALE STREET  
BALTIMORE, MARYLAND 21217

**JURISDICTION:** BALTIMORE CITY

**APPLICABLE CODES:**  
THE BUILDING CODE OF BALTIMORE CITY - 2015 EDITION  
2015 IBC  
2015 MARYLAND BUILDING PERFORMANCE STANDARDS  
2015 IRC  
2014 NEC  
2015 IFGC  
2015 IMC  
2015 IECC  
2015 IFC  
2012 IGCC  
2010 STANDARDS FOR ACCESSIBLE DESIGN  
COMAR 05.02.02

USE GROUP:	EXISTING BUILDING	PROPOSED ALTERATION
B	B	B
TYPE OF CONSTRUCTION:	III B	III B
NO. OF STORES:	3	3
HIGH RISE:	NO	NO
COVERED MALL:	NO	NO
FULLY SUPPRESSED:	NO	NO

**APPROXIMATE AREA OF OCCUPANCY FOR ALL FLOORS:** 7,500 SQ.FT.  
**APPROXIMATE AREA OF OCCUPANCY OF THIRD FLOOR:** 1,450 SQ.FT.  
**APPROXIMATE AREA OF SUBSTANTIVE ALTERATION:** 656 SQ.FT.

**2015 IBC**  
SECTION 406 FIRE ESCAPES  
406.1.2 EXISTING FIRE ESCAPE SHALL CONTINUE TO BE ACCEPTED AS A COMPONENT IN THE MEANS OF EGRESS IN EXISTING BUILDINGS ONLY.

**SECTION 504: ALTERATION LEVEL 2**  
SECTION 803.2: THE MEANS OF EGRESS SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION, EXCEPTION 1: WHERE THE WORK AREA AND THE MEANS OF EGRESS SERVING IT COMPLES WITH NFPA 101.

**NFPA 101, 2015**  
SECTION 39.2.5.3.2 COMMON PATH OF TRAVEL SHALL NOT BE LIMITED IN A SINGLE TENANT SPACE WITH AN OCCUPANT LOAD NOT EXCEEDING 30 PEOPLE.

**TABLE 1006.2.1: SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY:**  
OCCUPANCY BUSINESS USE, 49 OR FEWER OCCUPANTS, MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE IS 100'

**IBC 2015**  
TABLE 501 FIRE RESISTANCE RATING FOR TYPE II-B:  
2 HOUR RATING IS REQUIRED FOR PRIMARY STRUCTURAL FRAME  
2 HOUR EXTERIOR BEARING WALLS  
2 HOUR INTERIOR BEARING WALLS AND NON-BEARING WALLS  
0 HOUR FLOOR AND ROOF ASSEMBLIES

**1016.3 ANIBLES IN GROUP B:**  
THE MIN. CLEAR ISLE WIDTH SHALL BE DETERMINED BY SECTION 1006.1 FOR THE OCCUPANT LOAD SERVED, BUT SHALL BE NOT LESS THAN THAT REQUIRED BY SECTION 1002.2. EXCEPTION: NONPUBLIC ASIBLES SERVING LESS THAN 50 PEOPLE AND NOT REQUIRED TO BE ACCESSIBLE BY CHAPTER 11 NEED NOT EXCEED 28" IN WIDTH.

**TABLE 1002.2 MINIMUM CORRIDOR WIDTH**  
WITH AN OCCUPANT LOAD LESS THAN 50, THE MIN. CORRIDOR WIDTH IS 36"

**EGRESS THIRD FLOOR:**  
SINGLE DOOR AT 34' CLEAR:  
2X34" = 170 PERSONS ALLOWED

**1203.3 UNVENTED ENCLOSED RAFTER ASSEMBLIES:**  
UNVENTED ENCLOSED ROOF FRAMING ASSEMBLIES CREATED BY CEILINGS APPLIED DIRECTLY TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS AND THE STRUCTURAL ROOF SHEATHING AT THE TOP OF THE ROOF FRAMING MEMBERS SHALL BE PERMITTED WHERE THE FOLLOWING ARE MET:  
THE UNVENTED ATTIC SPACE IS COMPLETELY WITHIN THE BUILDING THERMAL ENVELOPE. NO INTERIOR VAPOR RETARDERS ARE INSTALLED, WHERE AIR IMPERMEABLE INSULATION IS PROVIDED, IT SHALL BE APPLIED IN DIRECT CONTACT WITH THE UNDERSIDE OF THE STRUCTURAL ROOF SHEATHING. AIR IMPERMEABLE INSULATION SHALL BE INSTALLED WITH THE VALUES IN TABLE 1203.3.

**TABLE 1203.3 INSULATION FOR CONDENSATION CONTROL:**  
CLIMATE ZONE 4A, A MIN. VALUE OF AIR-IMPERMEABLE INSULATIONS IS R-15.

**IGCC 2015**  
TABLE E-4 BLDG ENVELOPE REQUIREMENTS FOR CLIMATE ZONE 4  
ROOFS:  
ATTIC AND OTHER INSULATION MIN. R VALUE R-60.

**IPC 2015**  
PLUMBING CALCULATIONS  
(CALCULATED USING IBC OCCUPANT LOADS PER TABLE 1004.1.1)  
THIRD FLOOR OCCUPANCY: 15 PERSONS

**IPC 403.2 SEPARATE FACILITIES, EXCEPTION 2:**  
SEPARATE FACILITIES SHALL NOT BE REQUIRED IN TENANT SPACES WITH A TOTAL OCCUPANT LOAD OF 15 OR FEWER.

**OCCUPANT LOAD CALCULATION:**  
USE AREA # OF OCCUPANTS  
BUSINESS 1,642/100 17 PEOPLE

**GENERAL PROJECT SCOPE DESCRIPTION FOR 3RD FLOOR:**  
INTERIOR ALTERATION OF EXISTING TENANT SPACE WITH IN A BUILDING IN HISTORIC DISTRICT. ALTERATION TO INCLUDE DEMOLITION OF EXISTING PARTITIONS, AND CONSTRUCTION OF NEW PARTITIONS AND DOORS. NEW ELECTRICAL WORK TO MODIFY LIGHTING AND POWER TO REFLECT NEW PLAN. ALL ELECTRICAL RUNS ARE TO CONNECT TO EXISTING BUILDING MAIN ELECTRICAL ROOM. EXISTING DUCTWORK WILL BE MODIFIED TO REFLECT NEW PLAN.

REV. NO.	DATE	DESCRIPTION
A	6.20.15	CITY REVISIONS
B		
C		

STRUCTURAL  
SKARDA AND ASSOCIATES  
BALTIMORE, MARYLAND  
BALTIMORE, MARYLAND 21218  
410-366-9384

PROJECT MANAGER  
M.I.C.A.  
BALTIMORE, MARYLAND  
BALTIMORE, MARYLAND 21218  
TELE: 410-462-7591

5537 TWIN KNOLLS ROAD  
SUITE 435  
COLUMBIA, MD 21045  
BALTIMORE 410-730-2300  
WWW.ARIUMAE.COM

**ARIUM AE**

PROJECT:  
M.I.C.A. ANNEX BLDG  
THIRD FLOOR  
116 W. LANVALE STREET  
BALTIMORE, MARYLAND

TITLE SHEET  
DATE: 6.20.15  
BY: LEV  
CHK: LMA

DATE: 6.20.15  
BY: LEV  
CHK: LMA

T1

CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A duly LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER: 1476 EXP. DATE: 10/31/19