

**GENERAL NOTES**

- THE GENERAL CONTRACTOR SHALL VERIFY ALL PERMITS HAVE BEEN APPROVED BY APPROPRIATE AGENCIES PRIOR TO START OF CONSTRUCTION. NO CONSTRUCTION OR FABRICATION OF ANY ITEMS SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY DOCUMENTATION FROM ALL OF THE PERMITTING AND REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY AN REGULATORY AUTHORITY.
- NO CHANGES OR MODIFICATIONS TO THE WORK SHALL BE MADE WITHOUT APPROVAL OF OWNER / ARCHITECT. FAILURE TO OBTAIN APPROVAL SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS OF THE WORK REQUIRED BY THE OWNER OR ANY REGULATORY AUTHORITY.
- THE GENERAL CONTRACTOR SHALL CONTACT CLIENT, OR THE ARCHITECT OF RECORD, REGARDING ALL QUESTIONS OR DISCREPANCIES. COMMUNICATION WITH THE ARCHITECT'S CONSULTANTS, OR REGULATORY AGENCIES SHALL NOT BE CONSIDERED VALID AND ANY CHANGES IN WORK, ADDITIONAL COSTS, APPROVALS, OR NON APPROVALS DUE TO SUCH COMMUNICATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. SHOULD ADDITIONAL ENGINEERING OR INVESTIGATIVE WORK BE REQUIRED DUE TO SITE OR ENVIRONMENTAL CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY. ENGINEERING SERVICES REQUIRED FOR CHANGES OR MODIFICATIONS IN THESE DOCUMENTS SHALL BE SECURED BY OWNER.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AS HOLDER OF PERMITS TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION. REQUESTS SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF GOVERNING JURISDICTION. INSPECTORS SHALL HAVE COMPLETE ACCESS TO ALL WORK. RECORDS OF INSPECTIONS SHALL BE MAINTAINED ON THE JOB SITE IN ACCORDANCE WITH REQUIREMENTS AND FORMAT OF GOVERNING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES REQUIRED BY INSPECTIONS, EXCEPT FOR INSPECTIONS MADE BY OWNER OR ITS AGENTS.
- GENERAL CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS TO ALL SUBCONTRACTORS. ALL CROSS-REFERENCING SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION BETWEEN SUB-CONTRACTORS, SUPPLIERS, AND VENDORS BASED ON THE ENTIRE SET OF DOCUMENTS. NO ADDITIONAL COMPENSATION WILL BE DUE TO A CONTRACTOR FOR ISSUES RESULTING FROM THE USE OF AN INCOMPLETE SET OF CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF INCONSISTENCIES OR DISCREPANCIES BETWEEN CONTRACT DOCUMENTS, DRAWINGS, SPECIFICATIONS, ETC.,
- ERRORS, DISCREPANCIES OR OMISSIONS APPEARING ON THESE DRAWINGS, SPECIFICATIONS OR OTHER CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING.
- THESE CONSTRUCTION DOCUMENTS ARE NOT TO BE SCALED. SHOULD IT BE DETERMINED A DIMENSION IS NOT SPECIFICALLY PROVIDED, CONTACT THE ARCHITECT.
- THESE DRAWINGS ARE NOT TO BE ALTERED IN ANY WAY WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FULLY EXAMINE AND BECOME FAMILIAR WITH THE SITE BEFORE COMMENCING THE WORK. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS WELL AS VERIFY THE CONDITIONS AND NATURE OF THE CONSTRUCTION, MATERIALS, AND AVAILABLE UTILITIES AND STRUCTURAL ELEMENTS AND TO NOTIFY THE ARCHITECT IN WRITING OF ANY AND ALL DISCREPANCIES BETWEEN THE SAID EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS. IT SHALL BE THE JOINT RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AND SUPPLIERS OF MATERIALS TO SECURE ALL NECESSARY ADAPTATIONS TO SAME AS REQUIRED FOR THEIR RESPECTIVE WORK PRIOR TO ORDERING, FABRICATION, OR INSTALLATION OF ANY MATERIALS, EQUIPMENT, OR COMPONENTS WHICH ARE TO BE INTEGRATED INTO THE WORK OF THIS PROJECT.
- THE JOB SITE IS TO BE KEPT CLEAN DURING CONSTRUCTION. CONTRACTOR SHALL PERIODICALLY AND PROMPTLY REMOVE ALL DEBRIS FROM SITE AT THEIR EXPENSE IN A LEGAL MANNER, INCLUSIVE OF ALL BOXES, CRATES, OR TRASH OF INSTALLED ITEMS, INCLUDING DISPLAY FIXTURES AND HARDWARE SUPPLIED BY THE GC OR OTHERS.
- THE GENERAL CONTRACTOR SHALL OBTAIN ANY APPROVALS (IF NECESSARY) FOR ROOF PENETRATIONS IN WRITING BY THE LANDLORD. IN THE EVENT THE LANDLORD REQUIRES THE PENETRATIONS TO BE MADE BY THE LANDLORD'S CONTRACTOR, THE GENERAL CONTRACTOR SHALL BEAR SUCH EXPENSE UNLESS OTHERWISE AGREED TO IN WRITING.
- THE GENERAL CONTRACTOR SHALL PROVIDE PEDESTRIAN PROTECTION BARRICADES AND/OR CANOPIES AS REQUIRED BY LOCAL AUTHORITIES OR AS NECESSARY FOR PEDESTRIAN SAFETY.
- NO ASBESTOS OR ASBESTOS CONTAINING MATERIALS (ACM) SHALL BE USED IN THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL NOTIFY ARCHITECT OF MATERIALS SUSPECTED TO BE A.C.M.
- CONTRACTOR SHALL PROVIDE ALL FLOOR LEVELING, PATCHING, AND REMEDIAL REPAIRS AS REQUIRED BY THE SCOPE OF WORK. REPAIRS INCLUDE, BUT ARE NOT LIMITED TO, WORK REQUIRED TO PROVIDE A SMOOTH AND EVEN TRANSITION BETWEEN NEW AND EXISTING SPACES AND TO PREPARE EXISTING SURFACES FOR NEW FINISHES.
- GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ANY AND ALL ACCESS PANELS AS REQUIRED.
- ALL FIRE EXITS ARE TO REMAIN CLEAR AND OPEN DURING ALL PHASES OF CONSTRUCTION IF APPLICABLE.
- THE GENERAL CONTRACTOR SHALL PROTECT EXISTING CONSTRUCTION AND RESTORE ALL FINISH SURFACES TO THEIR ORIGINAL CONDITION WHERE DAMAGED.
- CONTRACTOR TO PROVIDE AND / OR MAINTAIN FIRE RATED ASSEMBLIES WHERE SHOWN, OR AS REQUIRED.
- WHERE NEW CONSTRUCTION IS TO BE SUSPENDED FROM THE EXISTING STRUCTURE, THE GENERAL CONTRACTOR SHALL VERIFY THAT THE EXISTING STRUCTURE HAS THE CAPACITY TO SUPPORT SUCH NEW ASSEMBLIES.
- THE ABBREVIATION N.I.C. INDICATES WORK AND / OR MATERIALS NOT IN THE CONTRACT OF THE GENERAL CONTRACTOR. THIS SHALL NOT RELIEVE THE G.C. OF THE RESPONSIBILITY OF COORDINATION.

**PROJECT NOTES**

- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED TRADE PERMITS AND INSPECTIONS. OWNER WILL PROVIDE BUILDING PERMIT.
- BASE BID SHALL INCLUDE GENERAL LIABILITY INSURANCE.
- SUBMIT WITH BIDS A DETAILED CONSTRUCTION SCHEDULE AND DIVISION BREAKDOWN.
- PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, AND GUIDELINES OF TRADE ORGANIZATIONS.
- PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS, AS REQUIRED TO ENSURE SAFETY ON THE PROPERTY. TAPE OR STUFF DOORS AND OPENINGS. VACUUM AND/OR DAMP MOP WORK AREAS ON AN ONGOING BASIS DURING DUSTY OPERATIONS.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY ELECTRICAL SERVICE FOR THE CONTRACTOR'S USE. AT CONTRACTOR'S EXPENSE DURING CONSTRUCTION. THE CONTRACTOR TO PROVIDE TEMPORARY TOILET FACILITIES FOR THIS PROJECT. TEMPORARY SERVICE PRIOR TO SERVICE INSTALLATION IS AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER DESIGN/BUILD TRADES AS REQUIREMENTS.
- COMMON AREAS DESIGNATED AS ACCESSIBLE FOR USE BY PERSONS WITH DISABILITIES SHALL BE CONSTRUCTED TO CONFORM TO THE MOST RECENT ACCESSIBILITY CODES AS ADOPTED BY THE AUTHORITY HAVING JURISDICTION. TYPICALLY ACCEPTED CONSTRUCTION TOLERANCES ARE NOT ALLOWED FOR REQUIRED ELEMENTS WITHIN THESE AREAS. ANY INFORMATION RELATIVE TO THESE AREAS THAT IS UNCLEAR SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. GENERAL CONTRACTOR SHALL POST ADEQUATE NOTICE WITHIN THESE AREAS TO INFORM SUB-CONTRACTORS OF UNIQUE INSTALLATION REQUIREMENTS.
- ALL DESIGNATIONS TO OWNER ALSO APPLY TO DEVELOPER AND/OR FRANCHISOR.

**SCOPE OF WORK**

CONSTRUCTION OF NEW STAND ALONE DASH - IN FRANCHISE STORE. CONSTRUCTION INVOLVES BUT IS NOT LIMITED TO SITE WORK, FOUNDATION, SUPER STRUCTURE, MEP SYSTEMS, EQUIPMENT AND FURNISHINGS, THERMAL AND MOISTURE PROTECTION SYSTEMS, BUILDING ENVELOPE AND INTERIOR, INTERIOR AND EXTERIOR FINISHES, SIGNAGE AND ACCESSORIES.

**ABBREVIATIONS**

ABV - ABOVE	FIN - FINISH	OPNG - OPENING
AC - AIR CONDITION(NG)	FIXT - FIXTURE	OPP - OPPOSITE
ACOUS - ACOUSTICAL	FLR - FLOOR	OH - OPPOSITE HAND
ACT - ACOUSTIC CEILING TILE	FLUOR - FLUORESCENT	PAF - POWDER ACTUATED
ADJ - ADJACENT	FR - FRAME / FIRE RETARDANT	PL - PLATE
AFC - ABOVE FINISH CEILING	FS - FLOOR SINK	PLAM - PLASTIC LAMINATE
AFS - ABOVE FINISHED SLAB	FT - FEET	PLYWD - PLYWOOD
AFR - FURRING	FURR - FURRING	PNT - PAINT
ALT - ALTERNATE	GA - GAUGE	PTD - PAINTED
ALUM - ALUMINUM	GALV - GALVANIZED	PTN - PARTITION
APPROX - APPROXIMATE	GC - GENERAL CONTRACTOR	PVC - POLYVINYL CHLORIDE
ARCH - ARCHITECTURAL	GL - GLASS	R - RISER
BD - BOARD	GR - GRADE	RA - RETURN AIR
BLK - BLOCK	GSF - GROSS SQUARE FEET	RAD - RADIUS
BLKG - BLOCKING	GWB - GYPSUM WALL BOARD	REFR - REFRIGERATOR
BM - BEAM	H - HIGH	REIN - REINFORCE(D)
BT - BOTTOM	HC - HOLLOW CORE/ HANDICAPPED	REQ'D - REQUIRED
BRG - BEARING	HDWD - HARDWOOD	RM - ROOM
CFS - COLD FORMED STEEL	HW - HARDWARE	RO - ROUGH OPENING
CJ - CONTROL JOINT	HW - HOLLOW METAL	SC - SOLID CORE
CLR - CLEAR	HORIZ - HORIZONTAL	SCHED - SCHEDULE
CLG - CLOSET	HR - HOUR	SEC - SECTION
CLO - CONCRETE MASONRY UNIT	HT - HEIGHT	SHT - SHEET
CMU - CASED OPENING / CLEAN	HVAC - HEATING, VENTILATION & AIR	SH - SHIM
COL - COLUMN	OUT - OUT	SM - SQUARE
CONC - CONCRETE	INSUL - INSULATION	SS - STAINLESS STEEL
CONST - CONSTRUCTION	JAN - JANITOR	STL - STEEL
CONT - CONTINUOUS	JT - JOINT	STD - STANDARD
CORR - CORRIDOR	KDHW - KNOCK DOWN HOLLOW METAL	STOR - STORAGE
CPT - CARPET	LAM - LAMINATE	STRUC - STRUCTURAL
CT - CERAMIC TILE	LAV - LAVATORY	SUSP - SUSPENDED
CW - COLD WATER	LD - LEASE DIMENSION	SYM - SYMMETRICAL
DIA - DIAMETER	LT - LIGHT	TBD - TO BE DETERMINED
DIAG - DIAGONAL	MAT - MATERIAL	TEL - TELEPHONE
DM - DIMENSION	MAX - MAXIMUM	TEMP - TEMPERED
DN - DOWN	MECH - MECHANICAL	TG - TEMPERED GLASS
DR - DOOR	MIN - MINIMUM	THK - THICK
DTL - DETAIL	MISC - MISCELLANEOUS	TOM - TOP OF MASONRY
DWG - DRAWING	MO - MASONRY OPENING	TYP - TYPICAL
EC - ELECTRICAL CONTRACTOR	MRGB - MOISTURE RESISTANT GYPSUM	UL - UNDERWRITER'S
ELEV - ELEVATION	WALLBOARD	LABORATORY
ELEC - ELECTRIC	UNO - UNLESS NOTED OTHERWISE	
EMER - EMERGENCY	MNTD - MOUNTED	VCT - VINYL COMPOSITION TILE
EQ - EQUIPMENT	MTL - METAL	VERT - VERTICAL
EX - EXISTING	NC - NONCOMBUSTIBLE	VF - VERIFY IN FIELD
EXT - EXTERIOR	NOT IN CONTRACT	W - WIDE
FD - FLOOR DRAIN	NO - NUMBER	WC - WATER CLOSET
FE - FIRE EXTINGUISHER	NTS - NOT TO SCALE	WD - WOOD
FEC - FIRE EXTINGUISHER CABINET	OCC - OCCUPANCY	WN - WINDOW
	O/C - ON CENTER	WO - WINDOW OPENING
	OFCI - OWNER FURNISHED	WHM - WELDED HOLLOW METAL
	CONTRACTOR INSTALLED	WWF - WELDED WIRE FABRIC
	OFOS - OUTSIDE FACE OF STUD	

**DRAWING SYMBOL LEGEND**

DETAIL NUMBER		DETAIL REFERENCE TAG		WALL / PARTITION TAG
SHEET NUMBER				ROOM TAG
DRAWN ON				EQUIPMENT TAG
DETAIL NUMBER		EXTERIOR ELEVATION REFERENCE / WALL SECTION		FINISH MATERIAL TAG
SHEET NUMBER				DOOR TAG
DRAWN ON				WINDOW TAG
WALL IDENTIFICATION		INTERIOR ELEVATION REFERENCE (4 WAY)		
DETAIL NUMBER				
SHEET NUMBER				
DRAWN ON				

**PROJECT DIRECTORY**

**PROJECT NAME/ADDRESS:**  
DASH-IN #079  
7845A QUARTERFIELD RD  
SEVERN, MD 21144

**CLIENT/TENANT:**  
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LA PLATA, MD 20646  
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TELEPHONE: (561) 704-3037

**ARCHITECT:**  
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**JURISDICTIONAL AUTHORITY:**  
ANNE ARUNDEL COUNTY DEPARTMENT OF INSPECTIONS AND PERMITS  
HERITAGE COMPLEX - BUILDING 2664  
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ANNAPOLIS, MARYLAND 20646

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**MPE ENGINEER:**  
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GLEN BURNIE, MD 21061  
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**STRUCTURAL ENGINEER:**  
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**DRAWING SHEET INDEX**

SHEET No.	SHEET TITLE
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G-004	GENERAL SPECIFICATIONS
G-005	GENERAL SPECIFICATIONS
G-006	GENERAL SPECIFICATIONS

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A-101	FLOOR PLAN
A-101A	BLOCKING PLAN
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A-103	ROOF PLAN
A-104	FLOOR FINISH PLAN
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
A-203	INTERIOR ELEVATIONS
A-204	INTERIOR ELEVATIONS
A-301	BUILDING SECTION
A-401	WALL SECTIONS
A-402	INTERIOR PARTITIONS
A-501	DETAILS
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A-503	DETAILS
A-601	DOOR & WINDOW SCHEDULE
A-602	FINISH SCHEDULE
A-701	MILLWORK DETAILS
A-702	MILLWORK DETAILS
A-703	COOLER PLAN
EG-101	EQUIPMENT PLAN
EG-102	EQUIPMENT SCHEDULE
EG-103	EQUIPMENT SCHEDULE

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S-101	FOUNDATION & FIRST FLOOR PLAN
S-102	ROOF FRAMING PLANS
S-201	DETAILS
S-301	SECTIONS

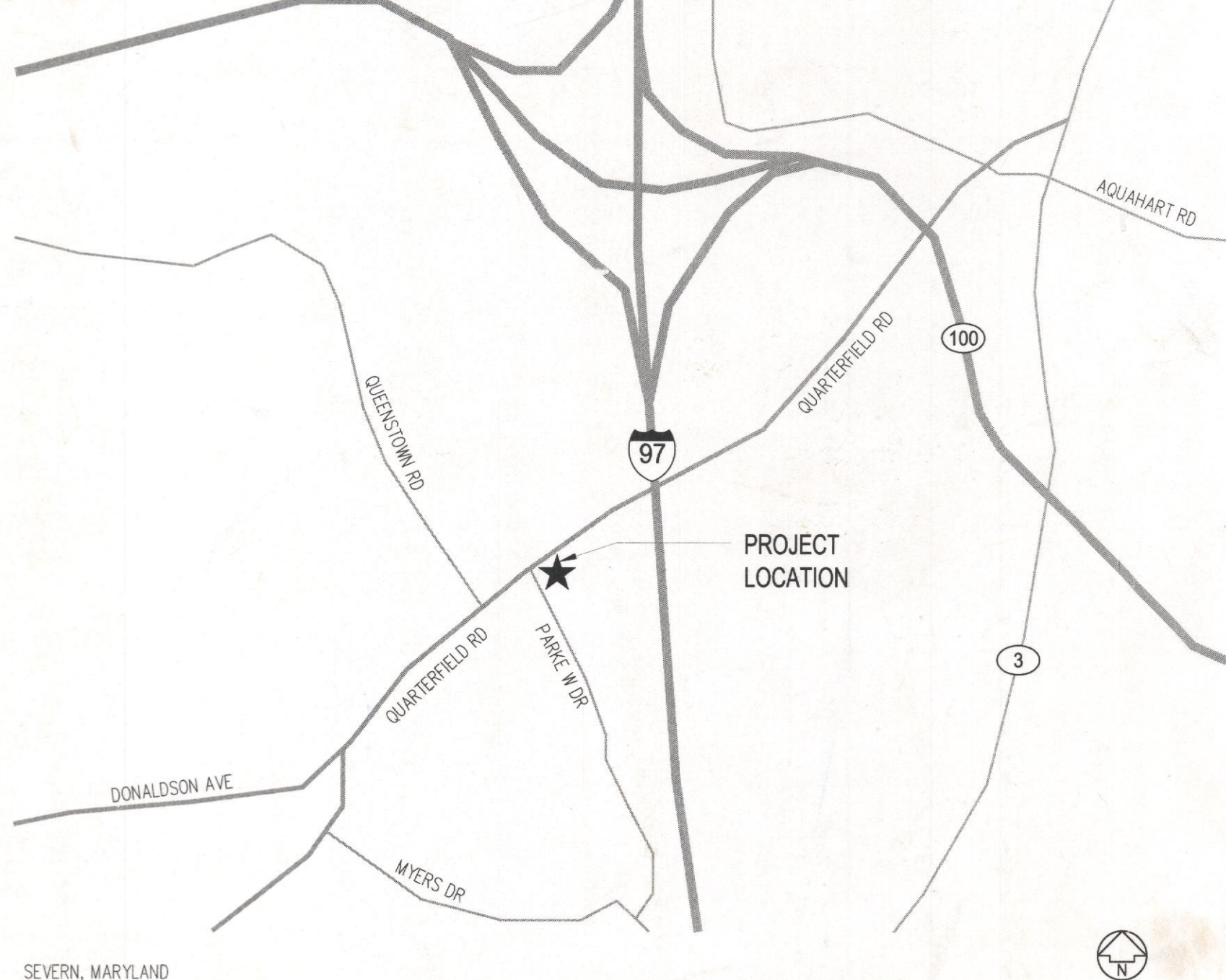
<b>MECHANICAL</b>	
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M-002	MECHANICAL SPECIFICATIONS
M-003	MECHANICAL SCHEDULES
M-101	FLOOR PLAN - MECHANICAL
M-102	ROOF PLAN - MECHANICAL
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P-301	PLUMBING - DETAILS
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FS-2	FOOD SERVICE EQUIPMENT UTILITY LOAD SCHEDULE
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FS-3	FOOD SERVICE EQUIPMENT ROUGH-IN PLAN
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FS-5.3	FOOD SERVICE EQUIPMENT VENTILATION PLAN
FS-5.4	FOOD SERVICE EQUIPMENT VENTILATION PLAN

**VICINITY MAP**



**L2M ARCHITECTS**  
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**L2M ARCHITECTS**

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the state of Maryland Lic. 8839 Exp. 07 December 2017.



**DASH IN**  
STORE #079  
QUARTERFIELD RD - SEVERN, MD

REV. #	ISSUE/DESCRIPTION	DATE
1	OWNER COMMENTS	5/10/2017

SHEET TITLE:  
**PROJECT INFORMATION**

DRAWING DATE: <b>01 APRIL 2017</b>	
DRAWN BY: <b>STAFF</b>	REVIEWED BY: <b>SDL</b>
PROJECT # <b>15.108</b>	
SHEET # <b>G-001</b>	
FILE NAME: <b>15.108 -G-001.dwg</b>	