

moffatt & nichol

MOFFATT & NICHOL
2780 LIGHTHOUSE POINT E., SECOND FLOOR
BALTIMORE, MD 21224

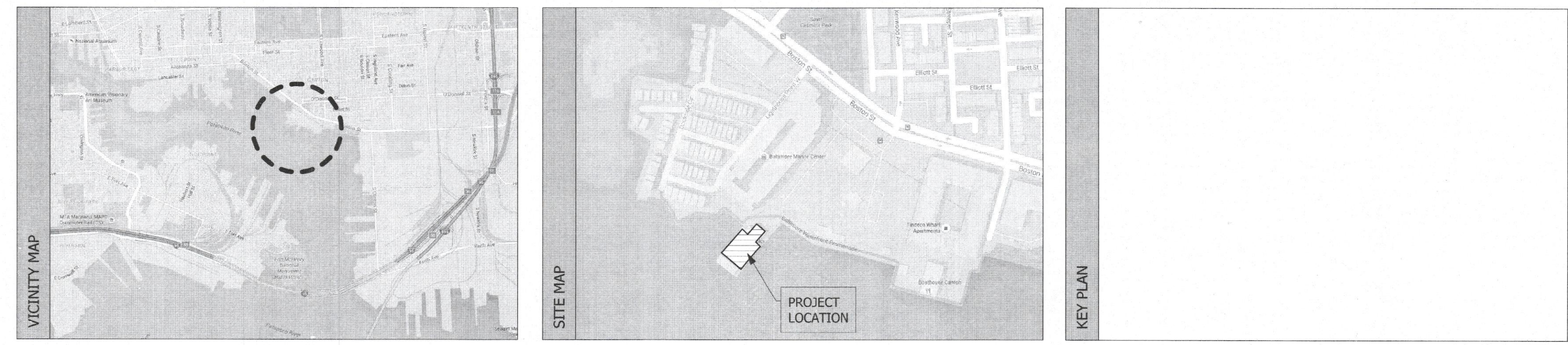
PROJECT

ARCHITECTURE
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PC
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MECH/ELEC/PLUMB ENGINEERING
FLO-TRON CONTRACTING, INC.
10604 BEAVER DAM ROAD
HUNT VALLEY, MARYLAND 21030
P: 410.527.0060

PROJECT TEAM
ARCHITECT OF RECORD:
HAROLD R. SACHS II, AIA

ENGINEER OF RECORD:
SPENCER L. MATUSKY, PE, LEED AP BD+C



NO.	SHEET NAME	REV. NO.	REVISION DATE
GENERAL			
G001	COVER SHEET		
G002	GENERAL NOTES		
G003	TYPICAL ADA REQUIREMENTS		
ARCHITECTURAL			
A001	LIFE SAFETY PLAN		
A002	CONSTRUCTION TYPES		
AD101	DEMOLITION PLAN		
A101	FLOOR PLAN	2	11/17/2016
A102	REFLECTED CEILING PLAN	2	11/17/2016
A103	ENLARGED REFLECTED CEILING PLAN		
A104	FURNITURE & EQUIPMENT PLAN		
A105	FINISH PLAN	2	11/17/2016
A501	ENLARGED PLANS	2	11/17/2016
A502	ENLARGED PLANS	2	11/17/2016
A503	INTERIOR ELEVATIONS	2	11/17/2016
A504	DETAILS		
A601	MILLWORK	2	11/17/2016
A701	SCHEDULES	2	11/17/2016
MECHANICAL			
M000	MECHANICAL LEGEND ABBREVIATIONS AND GENERAL NOTES		
M100	FLOOR PLAN MECHANICAL DEMO		
M101	FLOOR PLAN MECHANICAL		
M102	ROOF PLAN MECHANICAL		
M200	PARTIAL FLOOR PLANS - PLUMBING		
M201	PLUMBING RISERS		
M300	DETAILS AND SCHEDULES		
ELECTRICAL			
E000	ELECTRICAL LEGEND ABBREVIATIONS AND GENERAL NOTES		
E101	FLOOR PLAN ELECTRICAL DEMO		
E201	FLOOR PLAN POWER AND SPECIAL SYSTEMS		
E301	FLOOR PLAN LIGHTING		
E401	FLOOR PLAN FIRE ALARM		
E501	POWER RISER DIAGRAM AND DETAILS		
E601	ELECTRICAL PANEL SCHEDULES		

DRAWING INDEX

PROJECT NARRATIVE		JURISDICTION
THIS PROJECT CONSISTS OF AN INTERIOR FIT-OUT OF AN EXISTING VACANT TENANT SPACE FOR A NEW BUSINESS USE. THE OVERALL BUILDING IS A TWO STORY MIXED USE COMMERCIAL BUILDING; THE TENANT SPACE TO BE OCCUPIED IS APPROXIMATELY 8,850 SQUARE FEET. IT IS ASSUMED THE BUILDING IS TYPE "IIB" CONSTRUCTION.		BALTIMORE CITY DEPT. OF HOUSING AND COMMUNITY DEVELOPMENT 417 E. FAYETTE STREET, ROOM 100 BALTIMORE, MARYLAND 21202 P: 410.396.3460
THE SPACE WILL INCLUDE OFFICES, CONFERENCE ROOMS, STAFF BREAKROOM, ACCESSIBLE RESTROOMS, AND SHOWER ROOM.		
<input type="checkbox"/> NEW CONSTRUCTION <input checked="" type="checkbox"/> EXISTING CONSTRUCTION 2ND FLOOR AREA: 9,506 SF <input checked="" type="checkbox"/> INTERIOR FIT-OUT PROJECT AREA: 8,850 SF <input type="checkbox"/> ALTERATION <input type="checkbox"/> ADDITION AUTO SPRINKLER SYSTEM <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO STANDPIPES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO FIRE ALARM <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		APPLICABLE CODES 2015 INTERNATIONAL BUILDING CODE 2015 INTERNATIONAL ENERGY CONSERVATION CODE 2012 INTERNATIONAL GREEN CONSTRUCTION CODE 2015 INTERNATIONAL FIRE CODE 2015 INTERNATIONAL FUEL GAS CODE 2015 INTERNATIONAL MECHANICAL CODE 2015 INTERNATIONAL PLUMBING CODE 2014 NATIONAL ELECTRICAL CODE (NFPA 70) 2015 MARYLAND BUILDING PERFORMANCE STANDARDS 2015 BALTIMORE CITY GREEN CONSTRUCTION CODE MARYLAND ACCESSIBILITY CODE - COMAR 2010 ADAAG / AMERICANS WITH DISABILITIES ACT (ADA)
USE GROUP (SECTION 302):		
EXISTING		A-2 ASSEMBLY (1ST FL.) + A-3 ASSEMBLY (2ND FL.)
PROPOSED		A-2 ASSEMBLY (1ST FL. - NO CHANGE) + BUSINESS (2ND FL.)
OCCUPANCY SEPARATION (TABLE 508.4)		
REQUIRED SEPARATION		1 HOUR - BUSINESS/ASSEMBLY (SPRINKLERED)
PROPOSED SEPARATION		1 HOUR - EXISTING TO REMAIN
CONSTRUCTION TYPE (TABLE 601):		
EXISTING		IIB
PROPOSED		IIB - NO CHANGE
BUILDING HEIGHT (TABLE 504.4):		
EXISTING		2 STORIES
ALLOWABLE ASSEMBLY A-2 - SPRINKLERED		3 STORIES
ALLOWABLE BUSINESS - SPRINKLERED		4 STORIES
PROPOSED		NO CHANGE
BUILDING AREA (TABLE 506.2)		
EXISTING		8,850 SF
ALLOWABLE - ASSEMBLY A-2 - SM		28,500 SF
ALLOWABLE - BUSINESS - SM		69,000 SF
PROPOSED		NO CHANGE
OCCUPANT LOAD (TABLE 1004.1.2):		
BUSINESS @ 100 SF		89 OCCUPANTS
NUMBER OF EXITS (SECTION 1006):		
REQUIRED		2
PROPOSED		2
MAX. EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2)		
ALLOWED		300'
PROPOSED		124'
MAX. COMMON PATH TRAVEL DISTANCE (TABLE 1006.2.1)		
ALLOWED		100'
PROPOSED		42'-8"
MAX. DEAD END CORRIDORS (SECTION 1020.4)		
ALLOWED		50'
PROPOSED		20'
EGRESS WIDTH (SECTION 1005)		
THE EGRESS CAPACITY OF 36" DOORS HAVE BEEN CALCULATED USING 34" AS AN ACTUAL CLEAR WIDTH. 34" / 0.20" = 170 PERSONS		
THE EGRESS CAPACITY OF 72" DOORS HAVE BEEN CALCULATED USING 68" AS AN ACTUAL CLEAR WIDTH. 68" / 0.20" = 340 PERSONS		
THE EGRESS CAPACITY OF STAIRS HAVE BEEN CALCULATED AS 0.3" PER PERSON. 89 OCCUPANTS X 0.3" = 26.7" (REQ'D.) 41" PROVIDED		

CODE REVIEW

SLIP
SAT
ORIGINAL
REVISSED THIS SET:
A101 AS01
A102 AS02
A105 AS03
A601/A701

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MOFFATT & NICHOL TENANT FIT-OUT
2780 LIGHTHOUSE POINT E. SECOND FLOOR
BALTIMORE, MARYLAND 21224

DATE	DESCRIPTION	REVISIONS

I hereby certify that these documents were prepared or approved by me, and that I am a duly Licensed Architect under the laws of the State of Maryland.

License Number: 12603
Expiration Date: 12/22/16

PRELIMINARY	06/24/16
PERMITS	
BIDDING	
CONSTRUCTION	
PROJECT NO	16040
DRAWN	MML
DESIGNED	MML
CHECKED	HRS

COVER SHEET
G001

ABBREVIATIONS table with columns for abbreviations and full names. Includes categories like ABOVE, BELOW, ELECTRICAL, and MECHANICAL.

GRAPHICS LEGEND table showing symbols for existing construction, door/frame, and new door/frame. Includes symbols for fire-rated partitions and areas not in scope of work.

LIFE SAFETY LEGEND table showing symbols for egress exits, emergency lights, and exit signs. Includes symbols for exit strobes and combinations.

MISC. LEGEND table showing symbols for duplex outlets, quad outlets, data outlets, voice outlets, and thermostats.

ANNOTATION LEGEND table showing symbols for elevation numbers, sheet numbers, section numbers, and drawing numbers.

CEILING LEGEND table showing symbols for supply diffusers, return grilles, exhaust grilles, and acoustic ceiling tiles.

DEMOLITION NOTES section containing 13 numbered items detailing demolition procedures, safety requirements, and coordination with other trades.

CONSTRUCTION NOTES section containing 13 numbered items detailing construction requirements, material specifications, and coordination with other trades.

CONSTRUCTION PHASING NOTES section containing 4 numbered items detailing phasing plans, sequencing, and coordination with other trades.

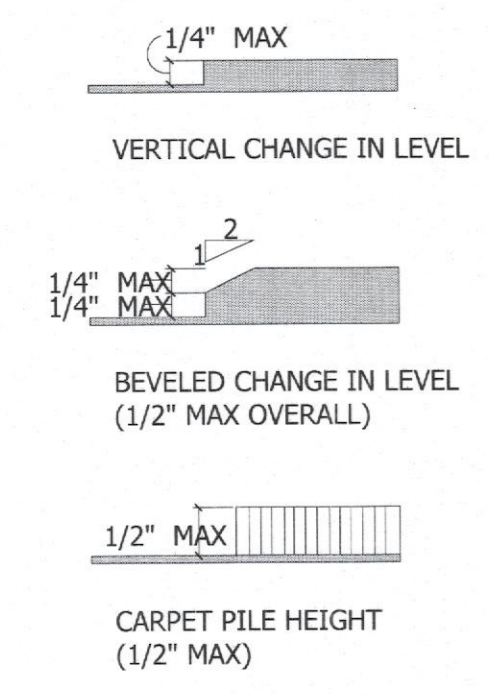
LIFE SAFETY & FIRE PROTECTION NOTES section containing 5 numbered items detailing fire safety requirements, exit routes, and signage.

DOOR AND FRAME NOTES section containing 11 numbered items detailing door and frame specifications, hardware, and installation requirements.

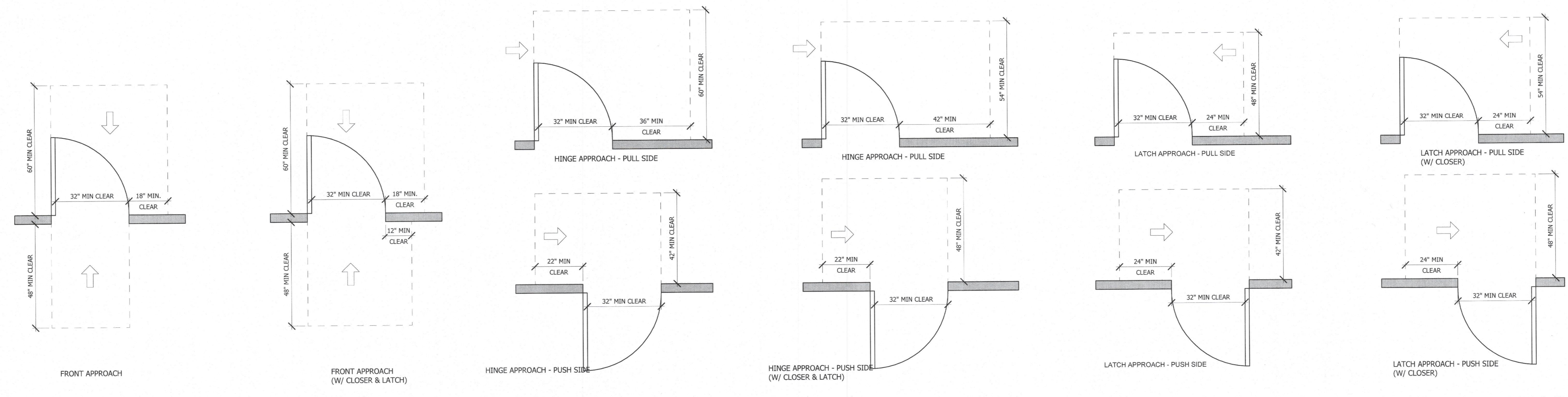
GENERAL NOTES section containing 13 numbered items detailing general construction requirements, material specifications, and coordination with other trades.

Project information block including architect name (AMMON HEISLER SACHS architects), project name (MOFFATT & NICHOL TENANT FIT-OUT), address (2780 LIGHTHOUSE POINT E, SECOND FLOOR, BALTIMORE, MARYLAND 21224), license number, and a table for revisions.

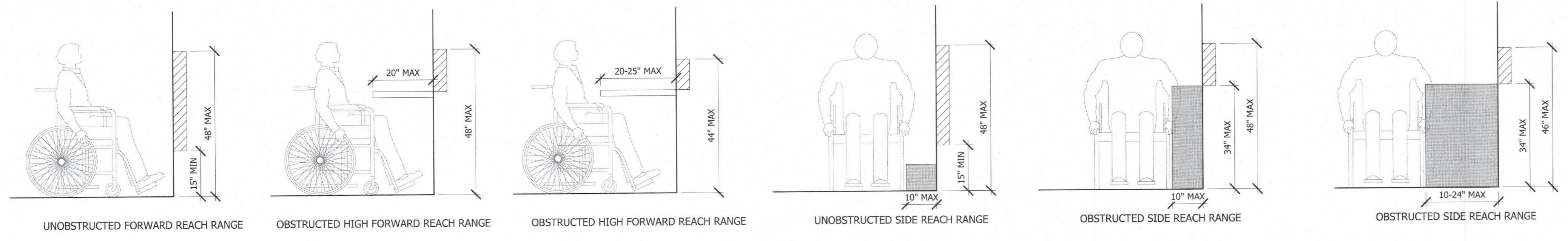
ACCESSIBLE THRESHOLD PER 2010 ADAAG SECTION 302.303



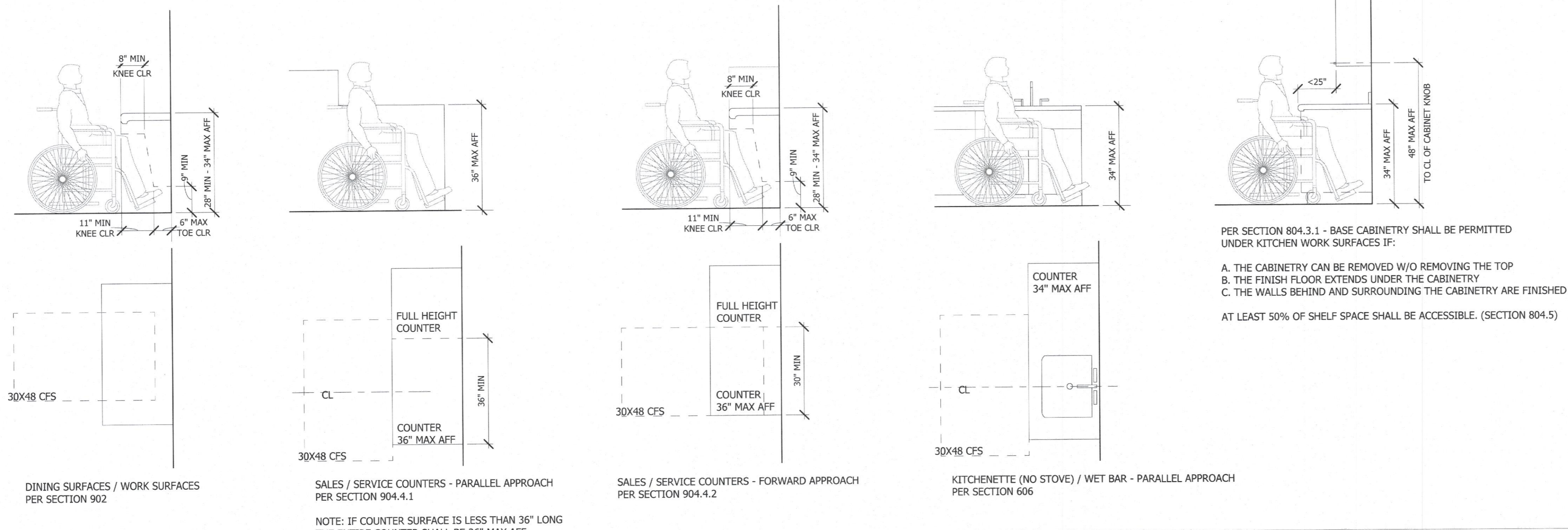
ACCESSIBLE DOOR CLEARANCES PER 2010 ADAAG SECTION 404



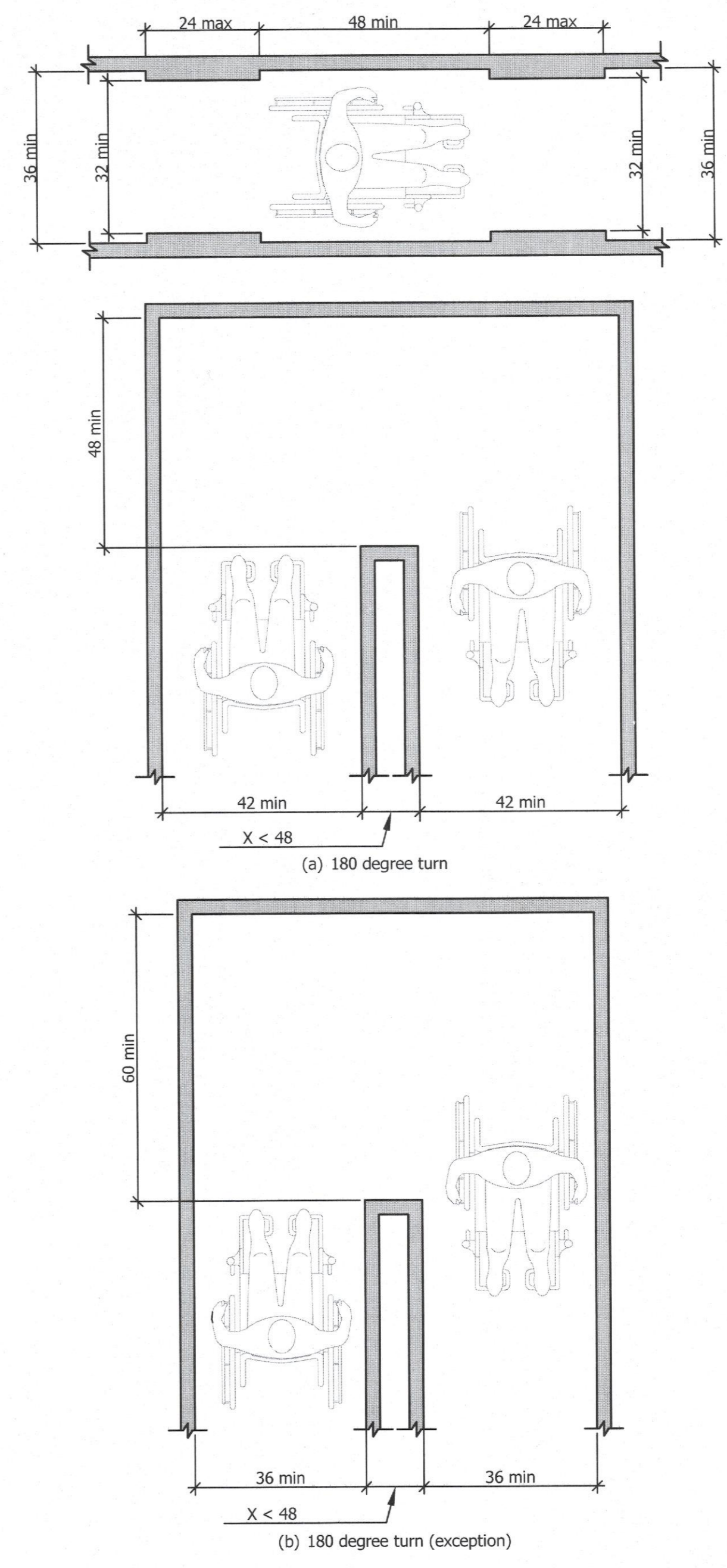
ACCESSIBLE REACH RANGES PER 2010 ADAAG SECTION 308



ACCESSIBLE COUNTERTOPS / CABINETS PER 2010 ADAAG



ACCESSIBLE ROUTE REQUIRED CLEARANCES PER 2010 ADAAG SECTION 403



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License Number: 12683
Expiration Date: 12/22/16

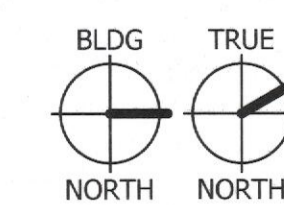
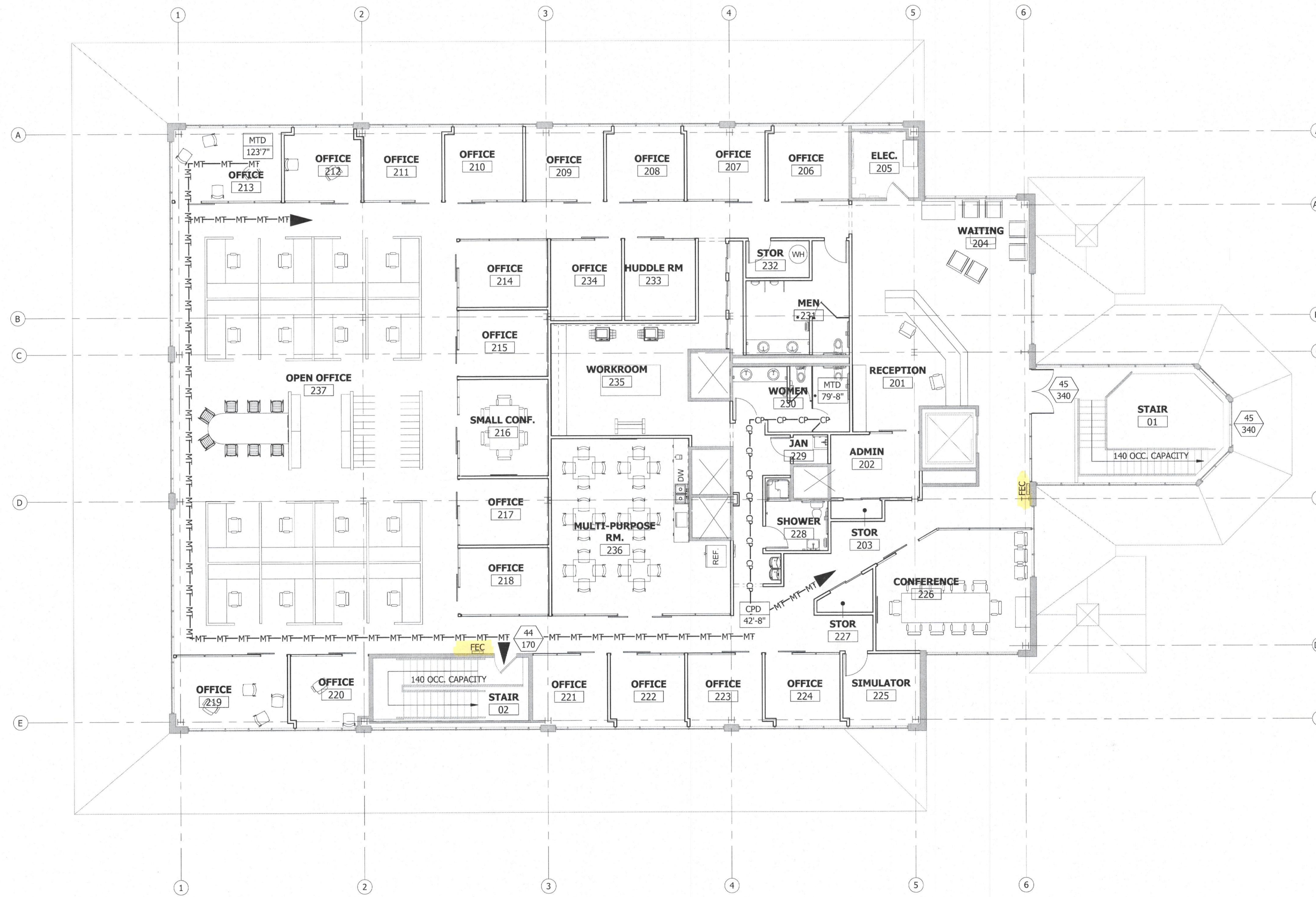
PRELIMINARY	
PERMITS	962416
BIDDING	
CONSTRUCTION	
PROJECT NO	16040
DRAWN	MML
DESIGNED	MML
CHECKED	HRS

TYPICAL ADA REQUIREMENTS

G003

H:\Baltimore Home Centers\16040 Moffatt-Nichol-Fit-Out\CAD Drawings\G003 Drawings\02-Architectural\02-Current\16040 Moffatt-Nichol RFI Set.rvt

H:\Baltimore Marine Centers\16040 Moffatt-Nichol\Fit-Out\04-Drawings\04-Dwg\02-Architecture\02-Current\16040 Moffatt-Nichol RFI 16040.rvt



1/8" = 1'-0"

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IBC 2015 MEANS OF EGRESS
 SECTION 1006 NUMBER OF EXITS AND EXIT ACCESS DOORWAYS
 TABLE 1006.2.1
 MAX. COMMON PATH TRAVEL DISTANCE = 100' (WITH SPRINKLER SYSTEM)
 SECTION 1017 EXIT ACCESS TRAVEL DISTANCE
 TABLE 1017.2
 MAX. EXIT ACCESS TRAVEL DISTANCE = 300' (WITH SPRINKLER SYSTEM)

License Number: 12683
 Expiration Date: 12/22/16

- EGRESS WIDTH**
1. THE EGRESS CAPACITY OF 36" DOORS HAVE BEEN CALCULATED USING 34" AS AN ACTUAL CLEAR WIDTH. 34"/0.20" = 170 PERSONS
 2. THE EGRESS CAPACITY OF 72" DOORS HAVE BEEN CALCULATED USING 60" AS AN ACTUAL CLEAR WIDTH. 70"/0.20" = 340 PERSONS
 3. THE EGRESS CAPACITY OF STAIRS HAVE BEEN CALCULATED AS 0.3" PER PERSON.
 4. ALL OF THE ABOVE CALCULATIONS ARE BASED ON SECTION 1005 (IBC 2015) & TABLE 7.3.3.1 (NFPA 101, 2015).

PRELIMINARY	06/24/16
PERMITS	
BIDDING	
CONSTRUCTION	
PROJECT NO	16040
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CHECKED	HRS

LIFE SAFETY PLAN

<p>1. INSTALL MOISTURE RESISTANT GYPSUM WALL BOARD IN RESTROOMS AND ALL LOCATIONS SUBJECT TO MOISTURE WHERE TILE IS NOT USED.</p> <p>2. CEMENTITIOUS BACKER BOARD SHALL BE USED IN LIEU OF GYPSUM WALL BOARD AT ALL WALLS WITH TILE (UNLESS NOTED OTHERWISE). WALLS WITH TILE ARE TO BE DESIGNED WITH L/360 MAX DEFLECTION.</p> <p>3. FIRE CAULK ALL PENETRATIONS IN RATED PARTITIONS.</p> <p>4. WOOD BLOCKING AT PERMITTED LOCATIONS IS TO BE FIRE TREATED.</p> <p>5. SEE LIFE SAFETY PLANS FOR ALL FIRE & SMOKE RATING DESIGNATIONS. FILL ALL FLUTES IN METAL DECKING AT CONNECTION OF TOP TRACK TO MAINTAIN THE STC RATING OF THE WALL. USE ACUSTICAL SEALANT AS NEEDED TO SEAL PERIMETER.</p> <p>6. FILL ALL FLUTES IN METAL DECKING AT CONNECTION OF TOP TRACK TO MAINTAIN THE FIRE RATING OF THE WALL. USE FIRE RATED SEALANT AS NEEDED TO SEAL PERIMETER.</p> <p>7. ALL WALLS WITH ACOUSTIC BATT INSULATION THAT DO NOT EXTEND TO THE DECK ABOVE SHALL HAVE ACOUSTIC BATTS LAID HORIZONTALLY ABOVE CEILING TO 24" FROM THE WALL ON BOTH SIDES.</p> <p>8. ALL FIRE WALLS TO BE STENCILED ABOVE CEILING WITH CORRESPONDING HOURLY RATING AS REQUIRED BY THE LOCAL JURISDICTION.</p> <p>9. ALL FURRED WALLS TO BE HELD OFF OF THE EXISTING CONSTRUCTION THE MINIMUM AMOUNT TO ALLOW FOR A PLUMB INSTALLATION.</p>	<table border="0"> <tr> <td>A- ACOUSTIC</td> <td>K- KNEE WALL</td> <td>S- SHIELDED</td> </tr> <tr> <td>C- CONCRETE</td> <td>M- MASONRY</td> <td>RS- RATED SHIELDED</td> </tr> <tr> <td>F- FURRED</td> <td>P- PLUMBING</td> <td>T- TYPICAL</td> </tr> <tr> <td>I- IMPACT RESISTANT</td> <td>R- FIRE RATED</td> <td>W- WOOD STUD</td> </tr> <tr> <td></td> <td></td> <td>X- SPECIAL</td> </tr> </table>	A- ACOUSTIC	K- KNEE WALL	S- SHIELDED	C- CONCRETE	M- MASONRY	RS- RATED SHIELDED	F- FURRED	P- PLUMBING	T- TYPICAL	I- IMPACT RESISTANT	R- FIRE RATED	W- WOOD STUD			X- SPECIAL	<p>FURRING AT EXISTING DOOR FRAMES</p>	<p>CONTROL JOINT</p>
A- ACOUSTIC	K- KNEE WALL	S- SHIELDED																
C- CONCRETE	M- MASONRY	RS- RATED SHIELDED																
F- FURRED	P- PLUMBING	T- TYPICAL																
I- IMPACT RESISTANT	R- FIRE RATED	W- WOOD STUD																
		X- SPECIAL																
PARTITION TYPE NOTES	PARTITION TYPE NOMENCLATURE LEGEND	FURRING AT EXISTING DOOR 1-1/2" = 1'-0"	CONTROL JOINT															

<p>F1</p>	<p>F3 F4</p>	<p>F5 F6</p>	<p>K1</p>	<p>P1 P2</p>
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<p>T1 T2</p>	<p>T3 T4</p>	<p>T5 T6</p>	<p>T7 T8</p>	<p>T9 T10</p>
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<p>R1 R2 1 HR</p>	<p>R3 R4 1 HR</p>	<p>R5 R6 2 HR</p>	<p>R7 R8 1 HR</p>	<p>R9 R10 2 HR</p>
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NOT USED

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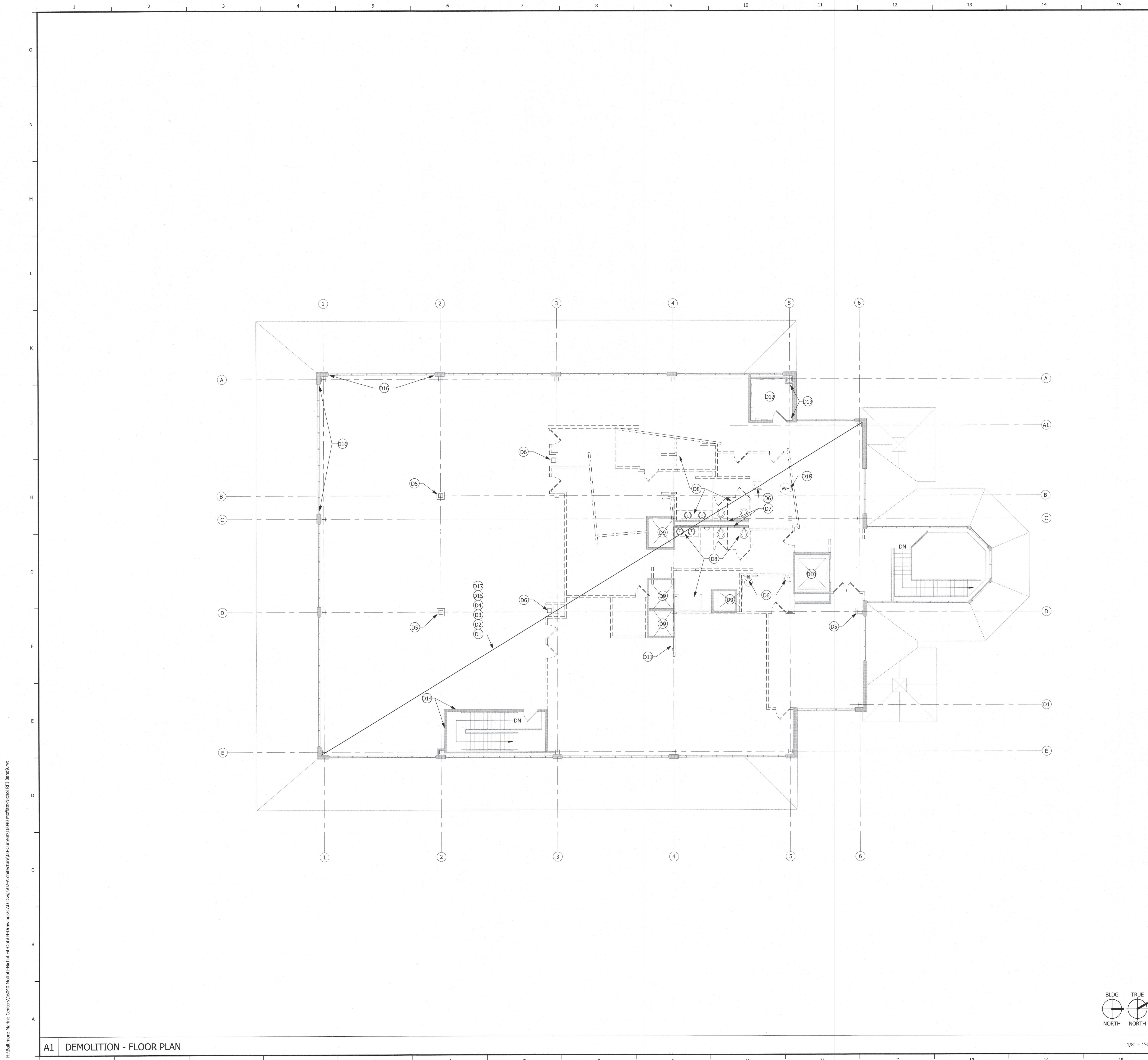
PRELIMINARY	06/24/16
PERMITS	
BIDDING	
CONSTRUCTION	

PROJECT NO 16040
 DRAWN MHL
 DESIGNED MHL
 CHECKED HRS

CONSTRUCTION TYPES

A002

Drawing Name: C:\Users\mizant\Documents\Drawings\Job
 File Date: Jun 28, 2016 - 2:45pm
 Last Updated: Jun 28, 2016 - 2:41pm
 Plotted By: mizant



1. OVERVIEW:
- A. WORK POLICY: ESTABLISH WORK POLICY WITH OWNER ON WORK HOURS, ACCESS, SECURITY, NOISE, DUST AND SPECIAL CONSIDERATION FOR OTHER TENANTS.
 - B. EXISTING CONDITIONS: FIELD VERIFY EXISTING CONDITIONS PRIOR TO START OF DEMOLITION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS BEFORE PROCEEDING WITH WORK.
 - C. PRIOR TO WORK: OWNER AND CONTRACTOR TO CONFIRM FURNITURE, WINDOW TREATMENTS, AND ACCESSORIES HAVE BEEN REMOVED AND AREA IS READY FOR WORK. ITEMS TO REMAIN ARE TO BE PROTECTED. ITEMS TO BE RETURNED TO OWNER ARE TO BE IDENTIFIED AND PROPERLY DOCUMENTED.
 - D. SCOPE OF DEMOLITION: SCOPE OF DEMOLITION VARIES FOR EACH AREA IDENTIFIED ON PLAN. SEE NOTES FOR EXTENT OF WORK.
 - E. HAZARDOUS MATERIALS: IN THE EVENT THAT DURING THE WORK UNDER THIS CONTRACT ANY MATERIAL DISCOVERED WHICH CAN REASONABLY BE SUSPECTED OF CONTAINING ASBESTOS, LEAD PAINT OR OTHER HAZARDOUS MATERIALS WORK IN THAT AREA SHALL IMMEDIATELY BE STOPPED AND THE OWNER BE NOTIFIED.
 - F. PROTECT EXISTING CONSTRUCTION: PREVENT DAMAGE TO EXISTING WORK TO REMAIN. REPAIR DAMAGE CAUSED BY WORK UNDER THIS CONTRACT TO EXISTING CONDITIONS.
 - G. PROTECT EXISTING EQUIPMENT: CONTRACTOR TO PROTECT EQUIPMENT TO REMAIN. OWNER AND CONTRACTOR TO INSPECT EQUIPMENT PRIOR TO WORK AND IDENTIFY PRE-EXISTING CONDITIONS.
2. ITEMS TO BE REMOVED:
- A. GENERAL: WHERE ITEMS ARE IDENTIFIED TO BE REMOVED THIS INCLUDES THE REMOVAL OF ITS WIRING, SUPPORTS, PIPING, DUCTS, ADHESIVE, SEALANTS ETC. UNLESS OTHERWISE NOTED.
 - B. SURROUNDING SURFACES AROUND ITEMS REMOVED: WHERE AREAS AND/OR ITEMS ARE IDENTIFIED TO BE REMOVED, THE SURFACES SURROUNDING THESE ITEMS ARE TO BE PREPARED FOR NEW CONSTRUCTION/FINISH.
 - C. FLOOR: WHEN FLOORING FINISH IS INDICATED TO BE REMOVED THIS INCLUDES, ADHESIVES ETC. AND FLOOR SUBSTRATE IS TO BE CLEAN AND CLEAR TO ACCEPT NEW FLOOR FINISH.
 - D. WALLS:
 - 1. WHEN CUTTING OPENINGS OR REMOVING A PORTION OF A WALL IN ITS ENTIRETY, ASSUME THE WALL IS STRUCTURAL AND TAKE NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE BUILDING AND BUILDING OCCUPANTS DURING DEMOLITION. COORDINATE LOCATION AND SIZE OF OPENINGS WITH CONSTRUCTION DOCUMENTS.
 - 2. WHERE WALLS ARE INDICATED TO BE COMPLETELY REMOVED, REMOVE EVERYTHING IN AND ON THE WALL E.G. ELECTRICAL, PIPING (CAP), DOOR AND FRAME, ETC. COMPLETE FROM FLOOR TO FLOOR STRUCTURE ABOVE UNLESS OTHERWISE INDICATED. TERMINATE BUILDING SYSTEMS OR REROUTE AS NECESSARY TO PROVIDE A COMPLETE OPERATING SYSTEM.
 - E. CEILING: WHERE CEILINGS ARE INDICATED TO BE COMPLETELY REMOVED, REMOVE EVERYTHING ASSOCIATED WITH CEILING INCLUDING SURFACE, FRAME SUPPORTS, LIGHTING, REGISTERS, SMOKE DETECTORS, EXIT LIGHTS ETC. UNLESS OTHERWISE INDICATED.
 - F. FINISHES: DEMOLITION OF FINISHES INCLUDES REMOVAL OF ADHESIVES, GROUTING BEDS, ETC. AND REQUIRES REMAINING SURFACES TO BE PREPARED FOR NEW CONSTRUCTION.
 - G. SIGNAGE: G.C. TO REMOVE ALL EXISTING INTERIOR SIGNS. PATCH AND PAINT EXIST. WALLS TO REMAIN. COORDINATE NEW SIGN LOCATIONS WITH OWNER.
3. ITEMS TO REMAIN:
- A. PROTECT EXISTING ITEMS AND EQUIPMENT: CONTRACTOR TO PROTECT ITEMS AND EQUIPMENT TO REMAIN. OWNER AND CONTRACTOR TO INSPECT ITEMS AND EQUIPMENT PRIOR TO WORK AND IDENTIFY PRE-EXISTING CONDITIONS.
 - B. WALLS AND GYPSUM BOARD CEILINGS: WALLS AND CEILINGS TO REMAIN ARE TO BE SMOOTH WITHOUT IMPERFECTIONS AND IN A CONDITION READY FOR NEW FINISH.
 - C. FLOOR: FLOORS SHALL BE LEFT SMOOTH, LEVEL, FREE OF MASTIC AND READY FOR INSTALLATION OF NEW FLOORING FINISHES.
 - D. CEILING: GYPSUM BOARD CEILINGS ARE TO BE SMOOTH WITHOUT IMPERFECTIONS AND IN A CONDITION READY FOR A NEW FINISH. ACT CEILINGS ARE TO BE CLEAN, LEVEL WITH MATCHING ACT PANELS AND WITHOUT IMPERFECTIONS.
4. SALVAGED AND REUSED ITEMS:
- A. OWNER AND CONTRACTOR TO ESTABLISH A STORAGE LOCATION AND PROTOCOL FOR ITEMS TO BE SALVAGED AND REUSED IN PROJECT. CONTRACTOR TO REUSE SALVAGED ITEMS IN GOOD CONDITION AND INSPECTED BY OWNER AND ARCHITECT PRIOR TO REMOVAL AND BEFORE INSTALLATION. OWNER AND CONTRACTOR TO WALK RENOVATED AREA AND CONFIRM ITEMS TO BE SALVAGED.

G16 GENERAL NOTES

NO.	DESCRIPTION
D1	DEMO INTERIOR PARTITIONS AND DOORS AS INDICATED. ALL ELECTRICAL WIRING AND LOW VOLTAGE CABLING TO BE REMOVED BACK TO SOURCE. UNLESS NOTED OTHERWISE.
D2	DEMO ALL FLOORING INCLUDING MASTIC RESIDUE. PREP SUBFLOOR FOR NEW FINISHES.
D3	DEMO ALL CEILINGS THROUGHOUT.
D4	DEMO ALL LIGHT FIXTURES IN CEILINGS TO BE REMOVED. ALL EFFECTED CIRCUITS TO BE REMOVED BACK TO ELECTRICAL PANEL. SALVAGE LINEAR PENDANT LIGHTS IN OPEN AREA FOR POTENTIAL REUSE. SALVAGE EXISTING CEILING FANS FOR POTENTIAL REUSE. COORD. WITH ELECTRICAL DRAWINGS.
D5	DEMO ALL FURRING AROUND EXISTING COLUMN. REMOVE ALL ABANDONED ELECTRICAL/LOW VOLTAGE WIRING. RELOCATE ALL FIRE ALARM/SECURITY DEVICES. COORD. FINAL LOCATION IN THE FIELD. ENSURE EXPOSED STEEL COLUMN IS FREE OF ALL DEBRIS AND PREP FOR NEW PAINT.
D6	DEMO EXISTING PLUMBING FIXTURES AND ALL ASSOCIATED PIPING.
D7	EXISTING PLUMBING WALL TO REMAIN. COORD. WITH NEW WORK.
D8	DEMO ALL PLUMBING FIXTURES INCLUDING ALL MILLWORK, TOILET PARTITIONS AND ACCESSORIES. CAP ALL PLUMBING INSIDE EXISTING PLUMBING WALL AND COORD. WITH NEW WORK PLANS.
D9	EXISTING MECHANICAL CHASE TO REMAIN. COORD. WITH MEP DRAWINGS.
D10	EXISTING ELEVATOR TO REMAIN. CONTRACTOR TO PROVIDE PROTECTION PRIOR TO START OF CONSTRUCTION.
D11	EXISTING ELECTRICAL PANEL TO BE RELOCATED. COORD. WITH ELECTRICAL DRAWINGS.
D12	EXISTING ELECTRICAL ROOM TO REMAIN. COORDINATE WITH ELECTRICAL DRAWINGS ON EXTENT OF NEW WORK.
D13	DEMO ALL IT EQUIPMENT AND CABLING FROM PREVIOUS TENANT. PLYWOOD TO REMAIN ON WALL.
D14	DEMO EXISTING MIRRORS INCLUDING ALL HANGING CLIPS AND/OR MASTIC. PREP EXISTING DRYWALL UNDERNEATH FOR NEW PAINT.
D15	REMOVE ALL ABANDONED EXERCISE EQUIPMENT INCLUDING ALL ITEMS SUSPENDED FROM THE STRUCTURE ABOVE.
D16	REMOVE WINDOW FILM
D17	REMOVE ALL WINDOW SHADES AND BRACKETS. PATCH AND REPAIR WHERE BRACKETS ARE REMOVED.
D18	SALVAGE EXISTING WATER HEATER FOR REUSE

A16 SHEET NOTES

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 http://www.aahsarch.com

MOFFATT & NICHOL TENANT FIT-OUT
 2780 LIGHTHOUSE POINT E. SECOND FLOOR
 BALTIMORE, MARYLAND 21224

DATE	DESCRIPTION	REVISIONS

I hereby certify that these documents were prepared or approved by me, and that I am a duly Licensed Architect under the laws of the State of Maryland.

License Number: 12683
Expiration Date: 12/22/16

PRELIMINARY	06/24/16
PERMITS	
BIDDING	
CONSTRUCTION	

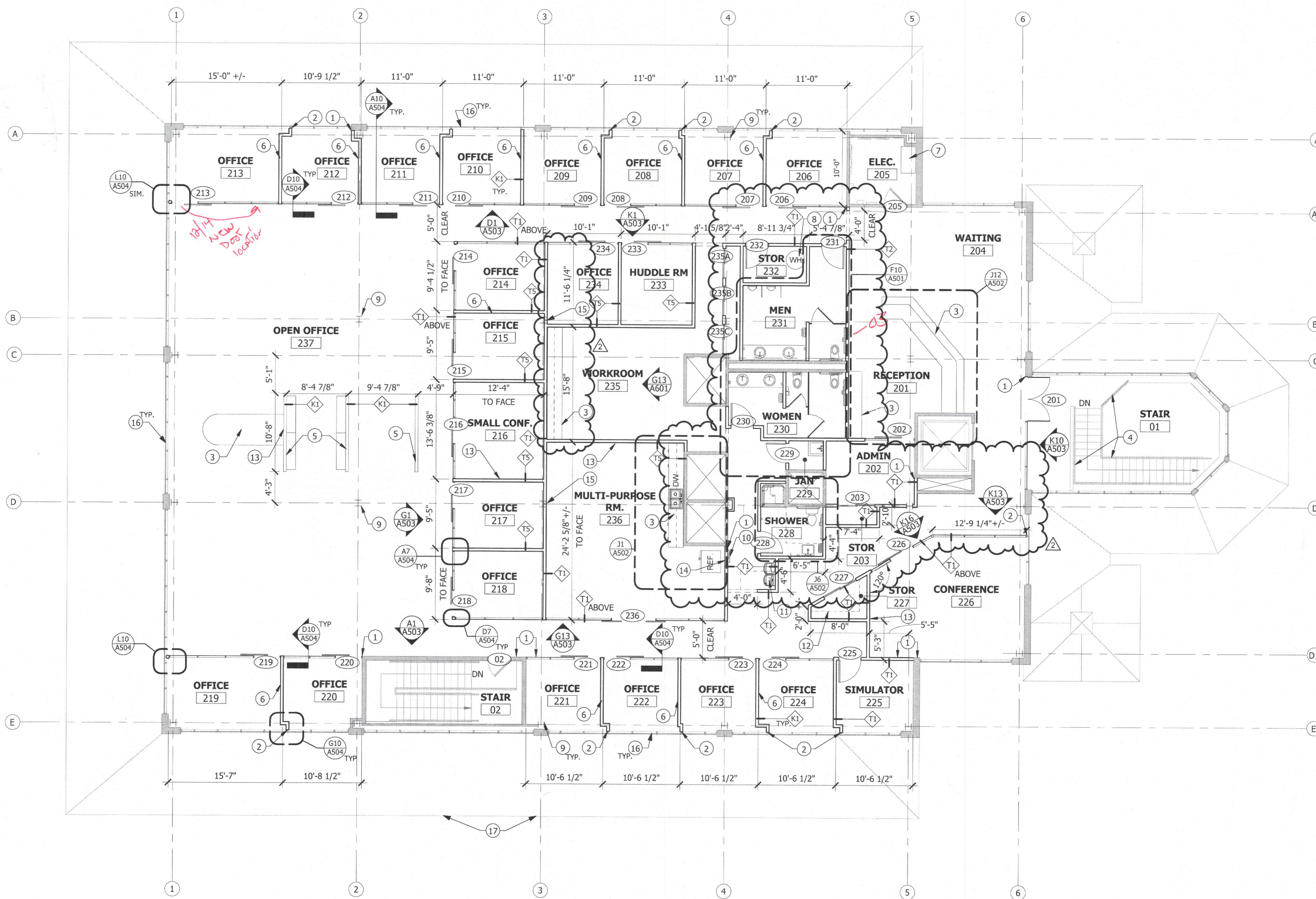
PROJECT NO	16040
DRAWN	MML
DESIGNED	MML
CHECKED	HRS

DEMOLITION PLAN

AD101

H:\Baltimore Mainline Camera\16040 Moffatt-Nichol FE-Out\04-Drawings\CAD Dwg\02-Architecture\00-Current\16040 Moffatt-Nichol RFI Bldg.rvt

H:\Baltimore Marine Center\16040 Mofatt-Nichol Fit-Out\04 Drawings\04-02-Architectural\02-Current\16040 Mofatt-Nichol Fit-Out.rvt



- A. THE GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS. DEVIATIONS FROM THE CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ARCHITECT.
- B. CONTRACTORS SHALL TAKE ALL POSSIBLE PRECAUTIONS AGAINST DAMAGING ANY EXISTING CONSTRUCTION THAT IS TO REMAIN. THE CONTRACTOR AND OWNER ARE TO INSPECT AND DOCUMENT THE CONDITION PRIOR TO CONSTRUCTION. ANY DAMAGES CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE TO THE COMPLETE SATISFACTION OF THE OWNER.
- C. MATERIALS REMOVED BY THE DEMOLITION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER, AND IN COMPLIANCE WITH APPLICABLE BUILDING CODES AND REGULATIONS.
- D. REMAINING WALLS ARE TO BE SMOOTH WITHOUT IMPERFECTION AND IN A CONDITION READY FOR PAINT.
- E. DIMENSIONS ARE TO FACE OF WALL, UNLESS OTHERWISE NOTED.
- F. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- G. PROVIDE BLOCKING FOR ALL WALL-MOUNTED EQUIPMENT, APPLIANCES, CASEWORK, COUNTERTOPS, ACCESSORIES, ETC. COORDINATE WITH OWNER FOR REQUIREMENTS OF OWNER SUPPLIED MATERIALS.
- H. LOCATE DOORS 4" FROM ADJOINING WALL, UNLESS OTHERWISE NOTED.
- I. COORDINATE ALL ELECTRICAL ROUGH-IN FOR OWNER SUPPLIED EQUIPMENT WITH OWNER AND MANUFACTURER.
- J. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AS SHOWN, U.N.O.
- K. DO NOT SCALE DRAWINGS
- L. ELECTRIC AND DATA LOCATIONS ARE TO BE COORDINATED WITH OWNER BEFORE CONSTRUCTION.
- M. ALL BLOCKING TO BE 3/4" MIN. THK FRP PLYWOOD, INSTALLED IN-WALL - U.N.O.

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K16 GENERAL NOTES

MOFFATT & NICHOL TENANT FIT-OUT
 2780 LIGHTHOUSE POINT E, SECOND FLOOR
 BALTIMORE, MARYLAND 21224

DATE	DESCRIPTION
11/17/2016 <td>RFI 1-9</td>	RFI 1-9
	REVISIONS

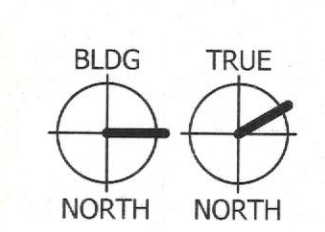
I hereby certify that these documents were prepared or approved by me, and that I am a duly Licensed Architect under the laws of the State of Maryland.

- 1 ALIGN FACES
- 2 ALIGN CENTERLINES, SEE G10/A504
- 3 ARCHITECTURAL WOOD CASEWORK, SEE ENLARGED PLANS AND MILLWORK DETAILS.
- 4 PREP AND PAINT EXISTING METAL RAILING. COORD. COLOR WITH OWNER.
- 5 TOP OF LOW WALL TO BE 48" AFF. SEE K16/A504 FOR WALL CAP DETAIL.
- 6 TOP OF PARTITION WALL TO ALIGN WITH BULKHEAD ABOVE GLASS WALL SYSTEM. PROVIDE FINISHED GWB CAP WITH CORNER BEADS BOTH SIDES.
- 7 SERVER RACK LOCATION, COORD. WITH CLIENT'S IT DEPT.
- 8 RELOCATED EXISTING WATER HEATER, SEE PLUMBING DRAWINGS
- 9 PREP AND PAINT EXISTING METAL COLUMN, TYP.
- 10 RELOCATED ELECTRICAL PANEL, SEE ELECTRICAL
- 11 NEW DUAL HEIGHT WATER COOLER WITH BOTTLE FILLER, SEE PLUMBING
- 12 PROVIDE SHELF AND ROD
- 13 PROVIDE FRP PLYWOOD BLOCKING FOR WALL MOUNTED EQUIPMENT
- 14 NEW WATER LINE TO REFRIGERATOR FOR ICE MAKER, SEE PLUMBING
- 15 METAL STUD OF PARTITION TO ALIGN WITH FACE OF STRUCTURAL COLUMN. GWB TO BE CONTINUOUS.
- 16 SOLAR WINDOW FILM TO BE APPLIED TO GLASS ALONG ENTIRE FACADE
- 17 LINE OF ROOF BELOW

License Number: 12683
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PERMITS	DATE
PRELIMINARY	06/24/16
BIDDING	
CONSTRUCTION	

PROJECT NO 16040
 DRAWN MML
 DESIGNED MML
 CHECKED HRS



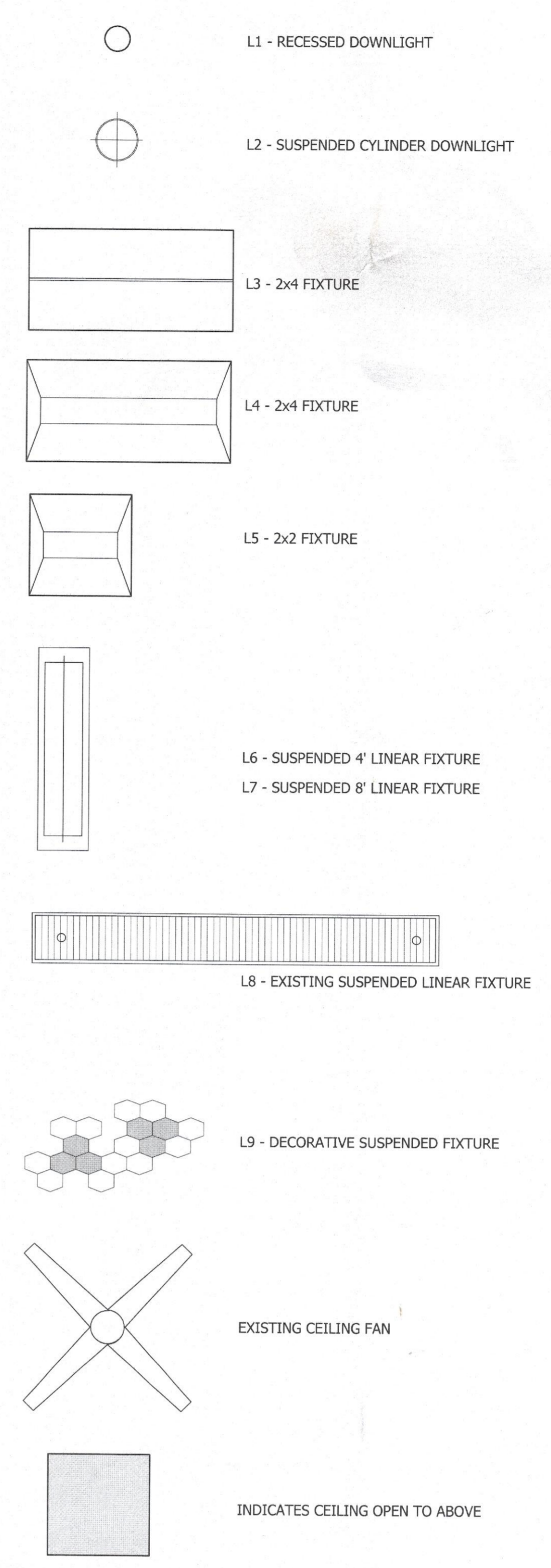
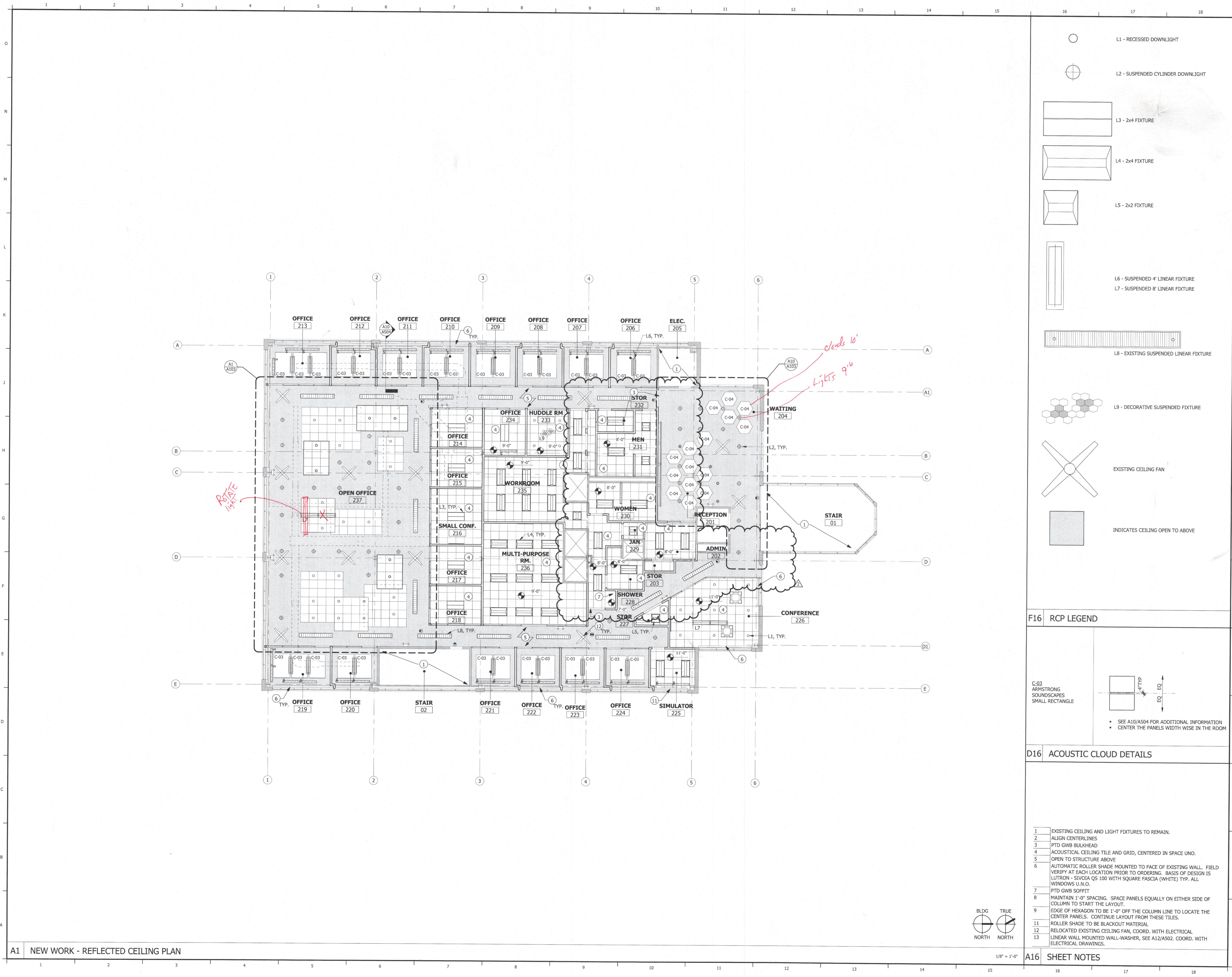
A1 NEW WORK - FLOOR PLAN

1/8" = 1'-0"

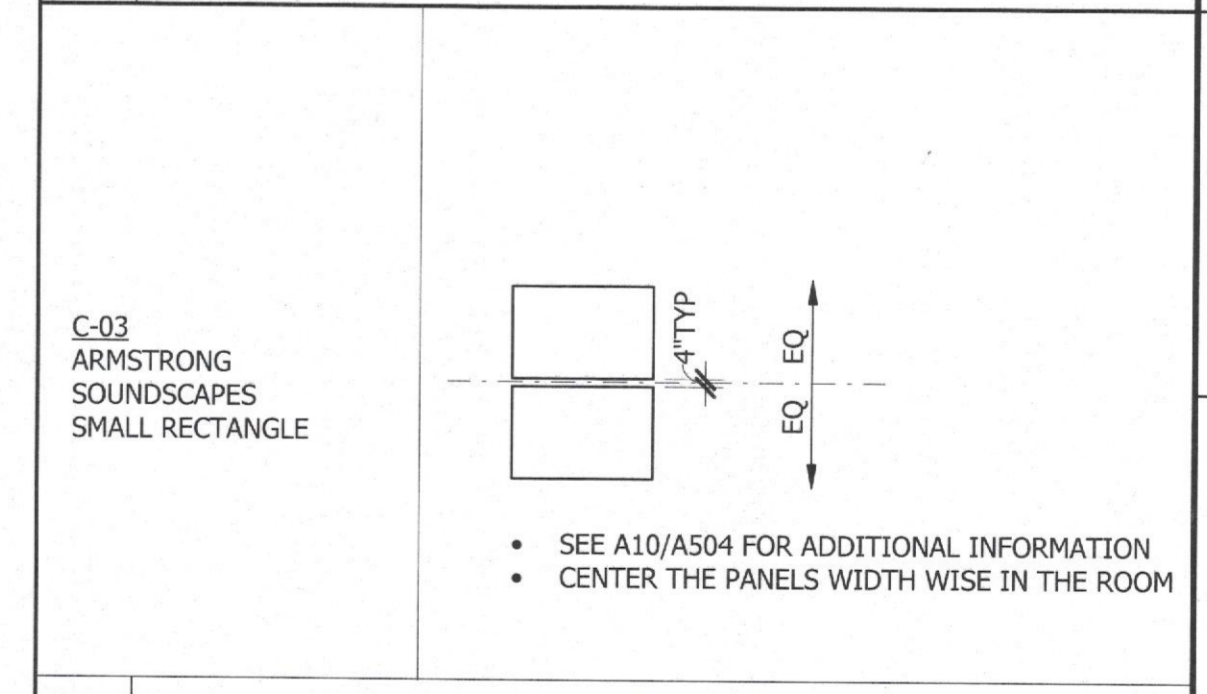
A16 SHEET NOTES

A101

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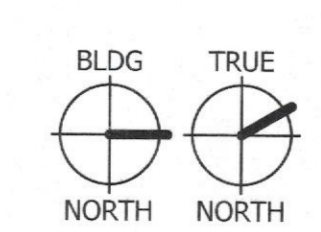


F16 RCP LEGEND



D16 ACOUSTIC CLOUD DETAILS

- 1 EXISTING CEILING AND LIGHT FIXTURES TO REMAIN.
- 2 ALIGN CENTERLINES
- 3 PTD GWB BULKHEAD
- 4 ACOUSTICAL CEILING TILE AND GRID, CENTERED IN SPACE UNO.
- 5 OPEN TO STRUCTURE ABOVE
- 6 AUTOMATIC ROLLER SHADE MOUNTED TO FACE OF EXISTING WALL. FIELD VERIFY AT EACH LOCATION PRIOR TO ORDERING. BASIS OF DESIGN IS LUTRON - SIVOIA QS 100 WITH SQUARE FASCIA (WHITE) TYP. ALL WINDOWS U.N.O.
- 7 PTD GWB SOFFIT
- 8 MAINTAIN 1'-0" SPACING. SPACE PANELS EQUALLY ON EITHER SIDE OF COLUMN TO START THE LAYOUT.
- 9 EDGE OF HEXAGON TO BE 1'-0" OFF THE COLUMN LINE TO LOCATE THE CENTER PANELS. CONTINUE LAYOUT FROM THESE TILES.
- 11 ROLLER SHADE TO BE BLACKOUT MATERIAL
- 12 RELOCATED EXISTING CEILING FAN, COORD. WITH ELECTRICAL
- 13 LINEAR WALL MOUNTED WALL-WASHER, SEE A12/A502. COORD. WITH ELECTRICAL DRAWINGS.



1/8" = 1'-0"

A1 NEW WORK - REFLECTED CEILING PLAN

A16 SHEET NOTES

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MOFFATT & NICHOL TENANT FIT-OUT
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 BALTIMORE, MARYLAND 21224

DATE	DESCRIPTION	REVISIONS
11/17/2016	BFL 1-9	2

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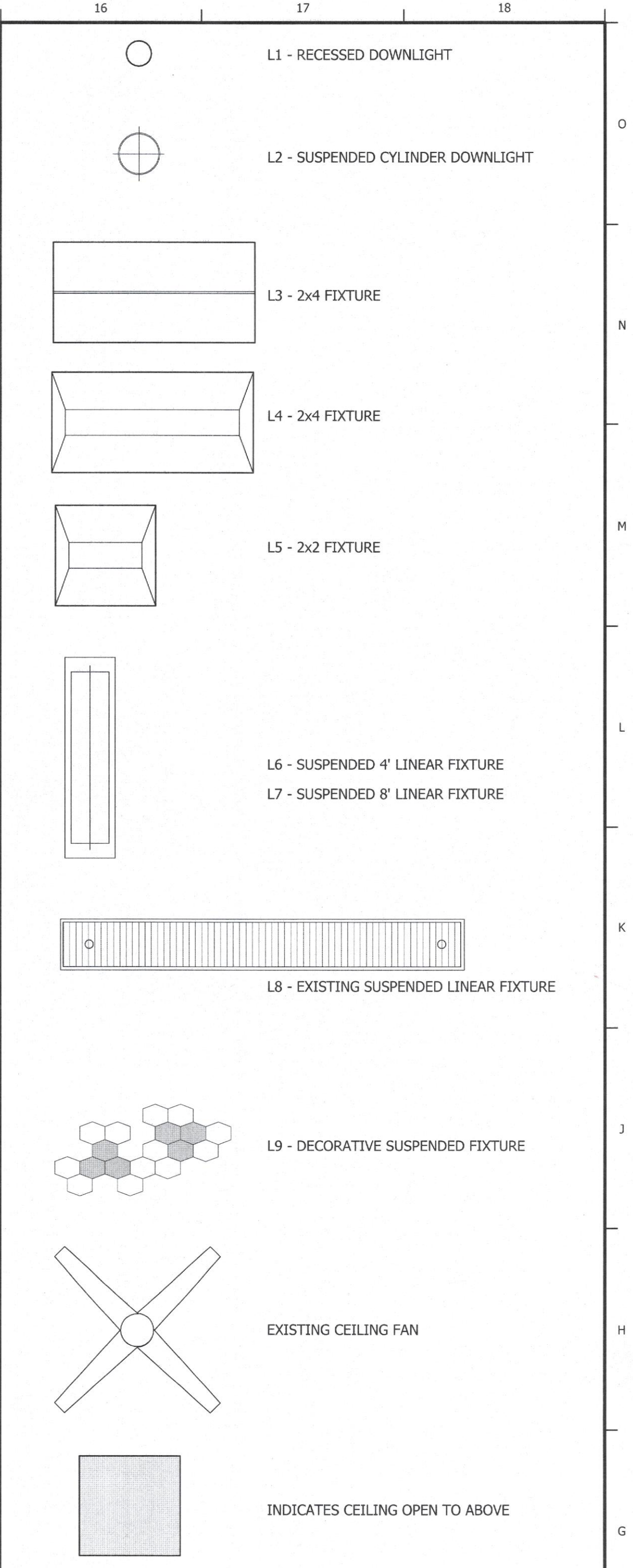
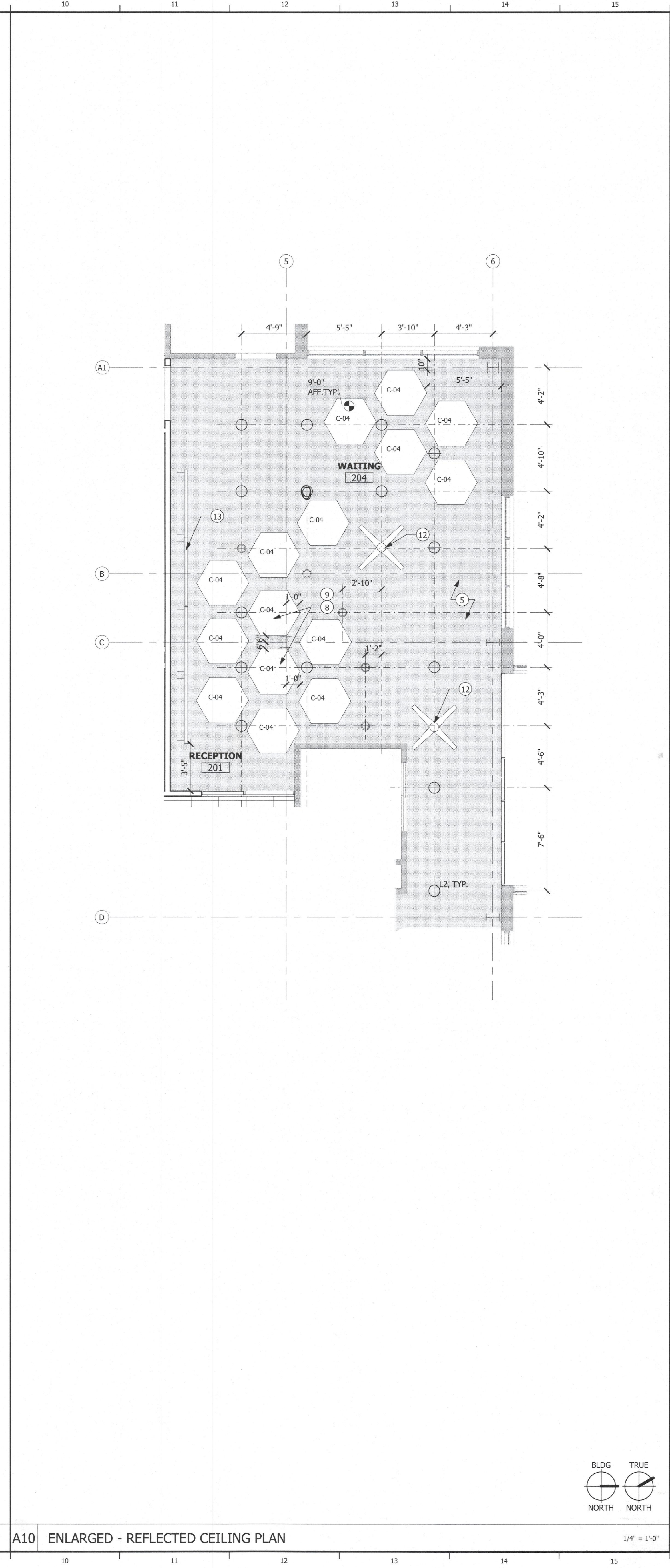
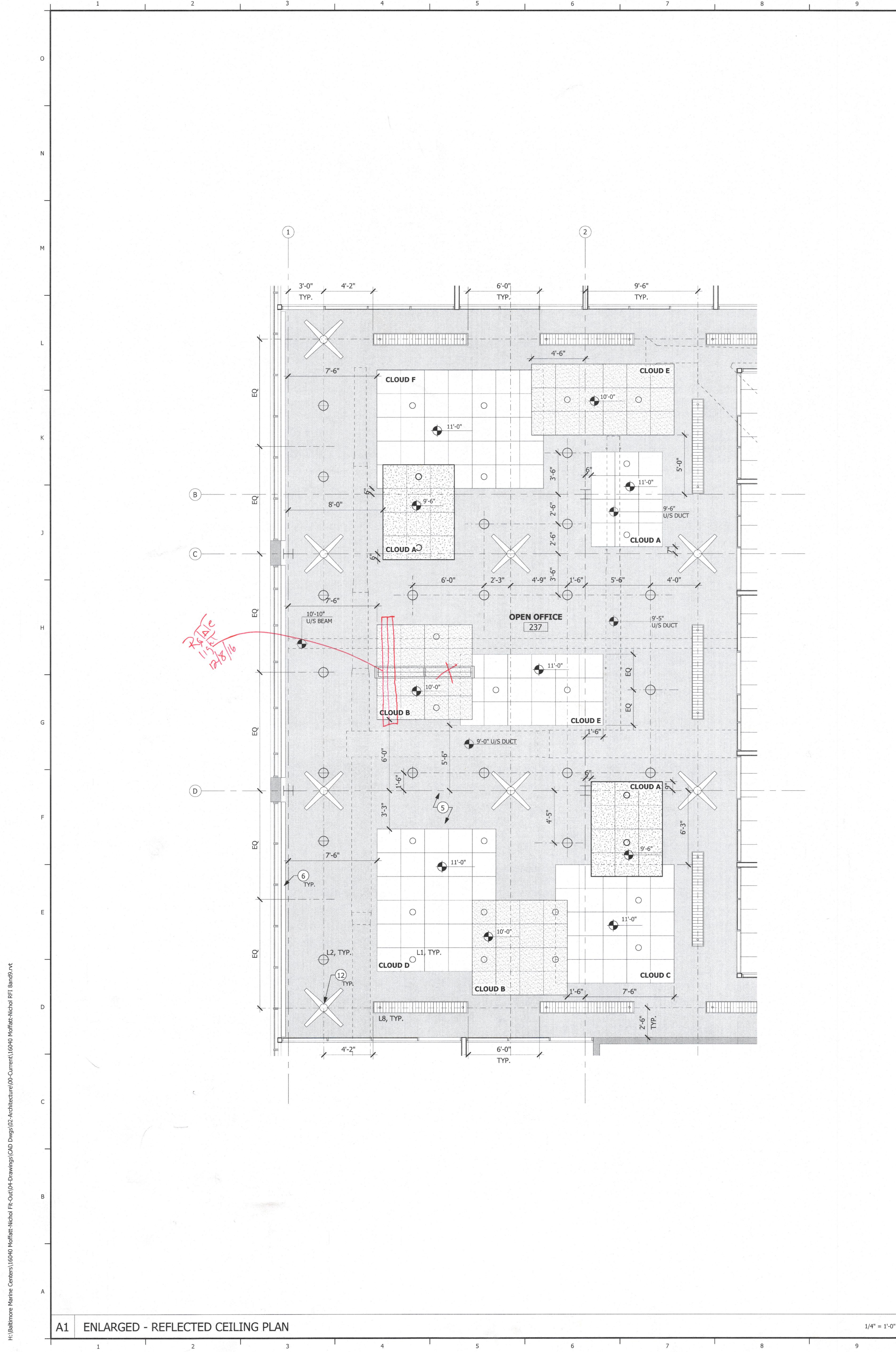
License Number: 12683
Expiration Date: 12/22/16

PRELIMINARY PERMITS	06/24/16
BIDDING	
CONSTRUCTION	

PROJECT NO	16040
DRAWN	MML
DESIGNED	MML
CHECKED	HRS

REFLECTED CEILING PLAN

A102



G16 RCP LEGEND

C-02 ARMSTRONG SUSPENDED CLOUDS	<p>CLOUD A = 6' X 8'</p> <p>CLOUD B = 8' X 8'</p> <p>CLOUD C = 10' X 10'</p> <p>CLOUD D = 10' X 12'</p> <p>CLOUD E = 12' X 6'</p> <p>CLOUD F = 14' X 10'</p>
C-04 ARMSTRONG SOUNDSCAPES HEXAGON	<p>• CLOUDS TO BE INSTALLED WITH 4" AXIOM TRIM W/ FACTORY CORNERS</p> <p>TYPICAL 1'-0" BETWEEN PANELS</p> <p>PANELS TO HANG PARALLEL TO FLOOR</p> <p>MOUNT PANELS 9'-0" AFF.</p>

D16 ACOUSTIC CLOUD DETAILS

- EXISTING CEILING AND LIGHT FIXTURES TO REMAIN.
- ALIGN CENTERLINES
- PTD GWB BULKHEAD
- ACOUSTICAL CEILING TILE AND GRID, CENTERED IN SPACE UNO.
- OPEN TO STRUCTURE ABOVE
- AUTOMATIC ROLLER SHADE MOUNTED TO FACE OF EXISTING WALL. FIELD VERIFY AT EACH LOCATION PRIOR TO ORDERING. BASIS OF DESIGN IS LUTRON - SIVOIA QS 100 WITH SQUARE FASCIA (WHITE) TYP. ALL WINDOWS U.N.O.
- PTD GWB SOFFIT
- MAINTAIN 1'-0" SPACING. SPACE PANELS EQUALLY ON EITHER SIDE OF COLUMN TO START THE LAYOUT.
- EDGE OF HEXAGON TO BE 1'-0" OFF THE COLUMN LINE TO LOCATE THE CENTER PANELS. CONTINUE LAYOUT FROM THESE TILES.
- ROLLER SHADE TO BE BLACKOUT MATERIAL
- RELOCATED EXISTING CEILING FAN, COORD. WITH ELECTRICAL
- LINEAR WALL MOUNTED WALL-WASHER, SEE A12/A502. COORD. WITH ELECTRICAL DRAWINGS.

G16 RCP LEGEND

DATE	DESCRIPTION	REVISIONS

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CONSTRUCTION	

PROJECT NO	16040
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DESIGNED	MML
CHECKED	HRS

ENLARGED REFLECTED CEILING PLAN

A103

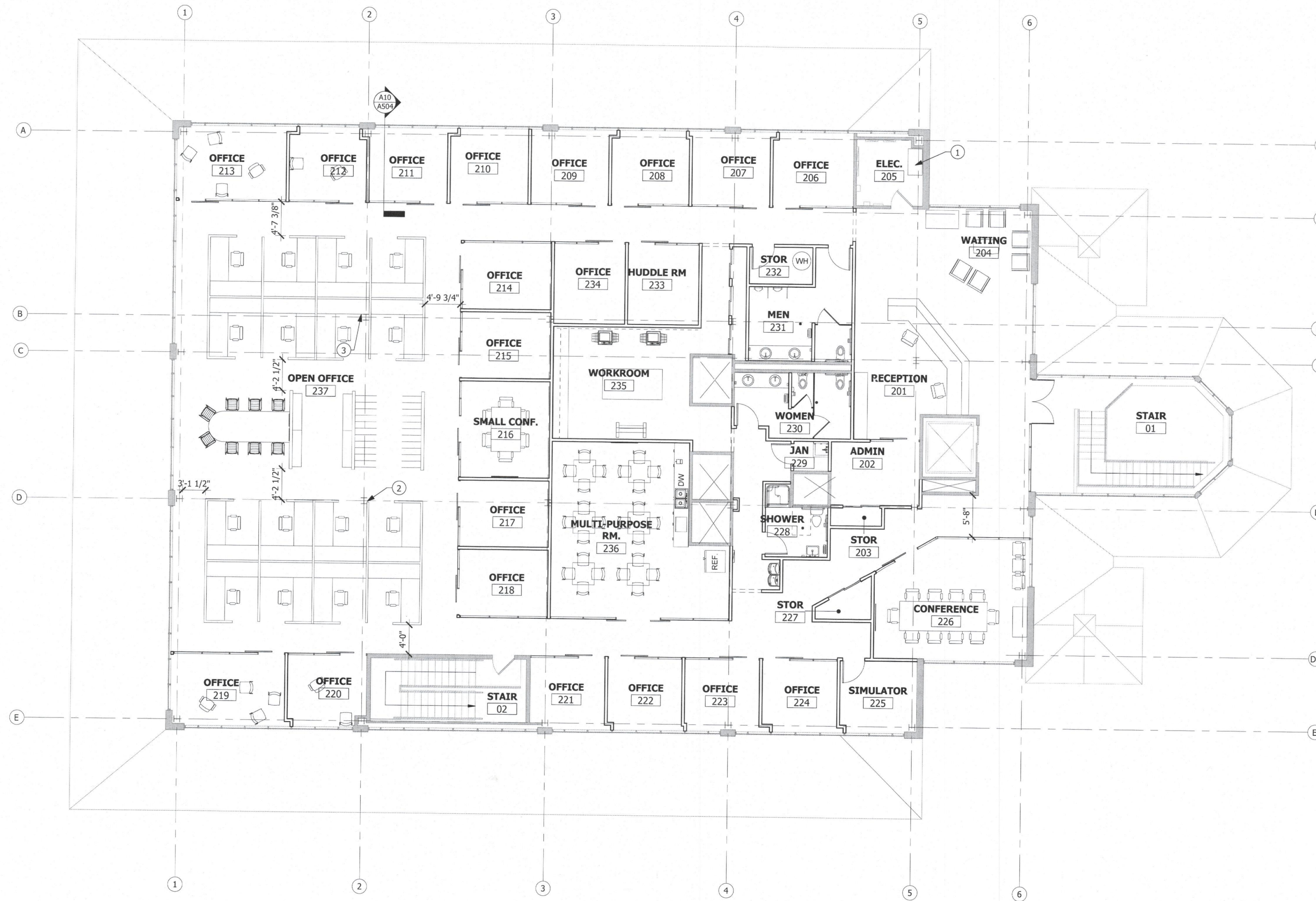
A H AMMON HEISLER SACHS architects

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1. ALL FURNITURE, FIXTURES AND EQUIPMENT IS PROVIDED AND INSTALLED BY TENANT.
2. RECEPTION DESK TO BE PROVIDED BY TENANT AND INSTALLED BY G.C.

K16 GENERAL NOTES

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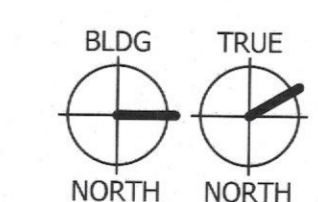
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CONSTRUCTION	
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CHECKED	HRS

FURNITURE & EQUIPMENT PLAN



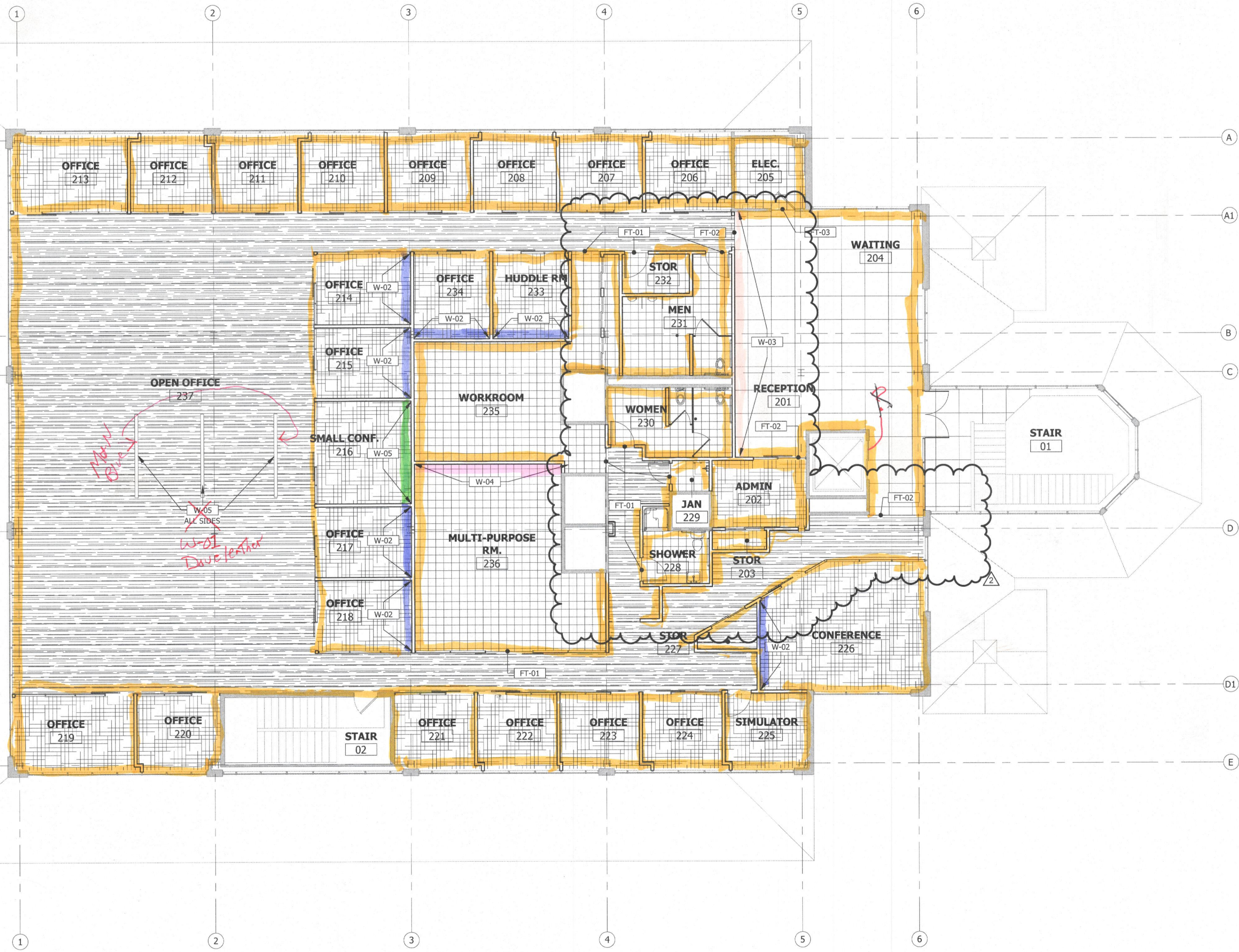
- 1 SERVER CABINET, BY OWNER
- 2 SYSTEMS FURNITURE PANEL TO ALIGN WITH EXISTING STRUCTURAL COLUMN
- 3 SYSTEMS FURNITURE DESK TO ALIGN WITH EXISTING STRUCTURAL COLUMN

A1 NEW WORK - FURNITURE AND EQUIPMENT PLAN

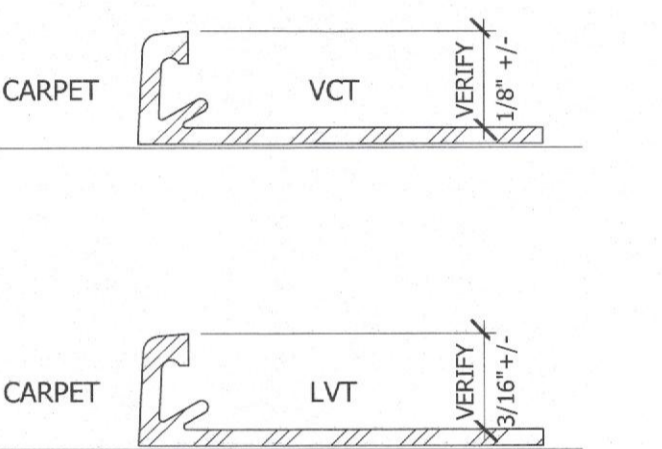
A16 SHEET NOTES

A104

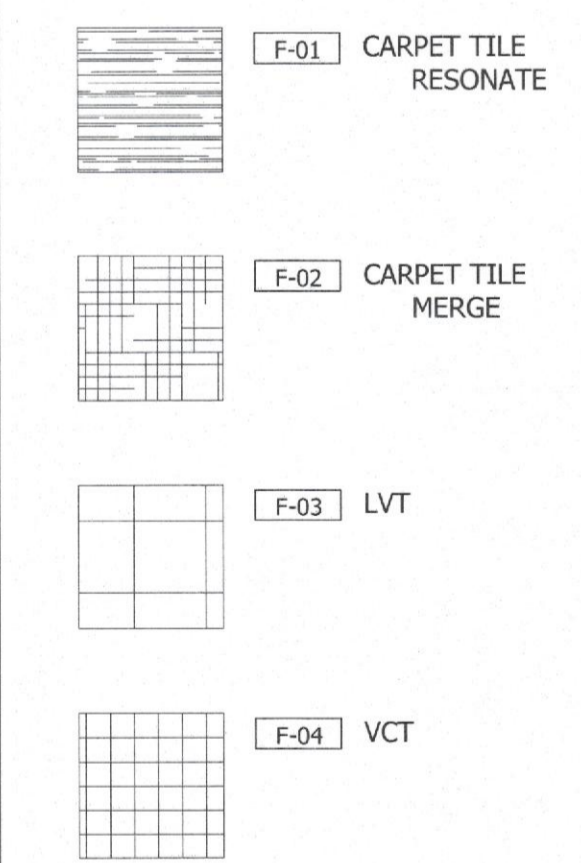
1/8" = 1'-0"



03



G16 TRANSITION DETAILS



* SEE A701 FOR FINISH AND MATERIAL SCHEDULES*

D16 FINISH LEGEND

A16 SHEET NOTES

A H AMMON HEISLER SACHS Architects

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11/17/2016	REF 1-9

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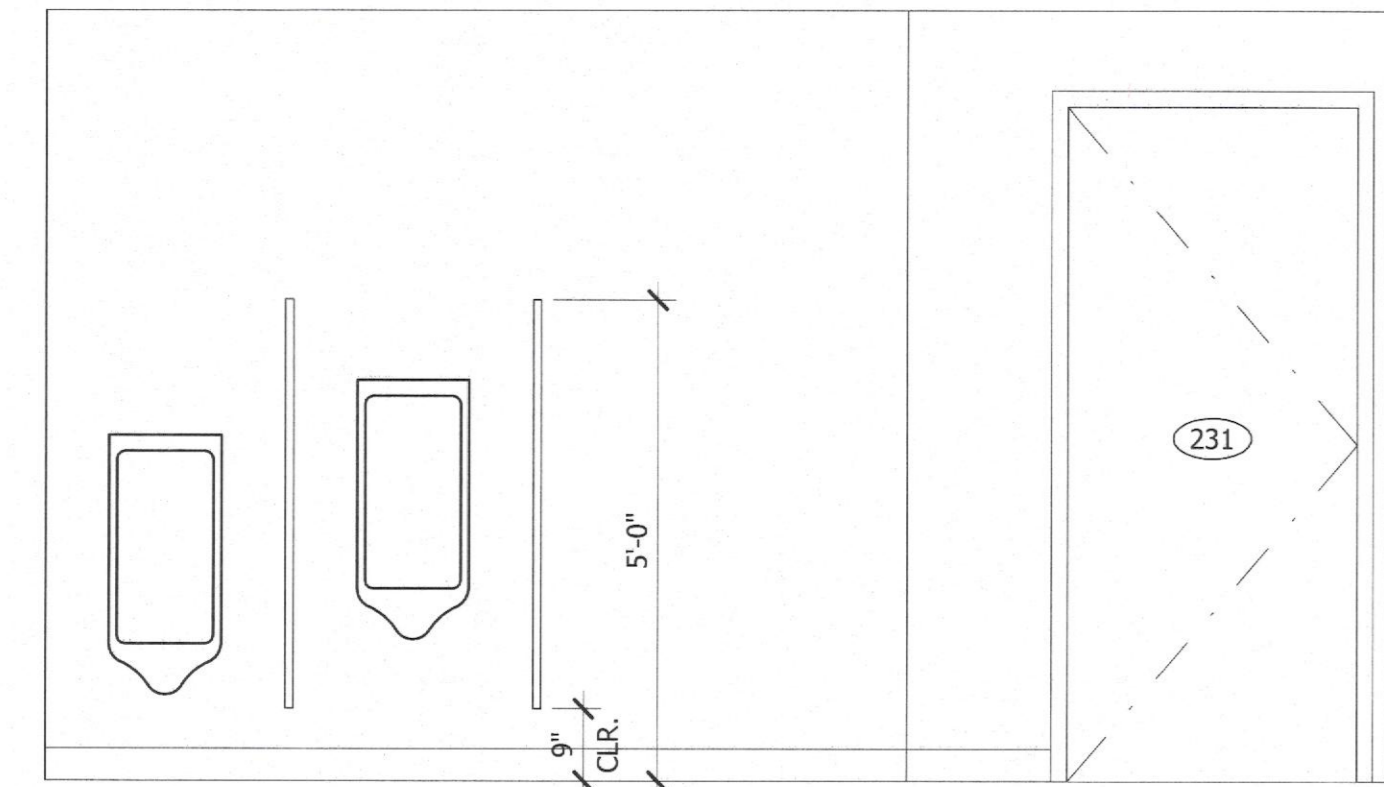
PRELIMINARY	06/24/16
PERMITS	
BIDDING	
CONSTRUCTION	
PROJECT NO	16040
DRAWN	MML
DESIGNED	JTH
CHECKED	HRS

FINISH PLAN

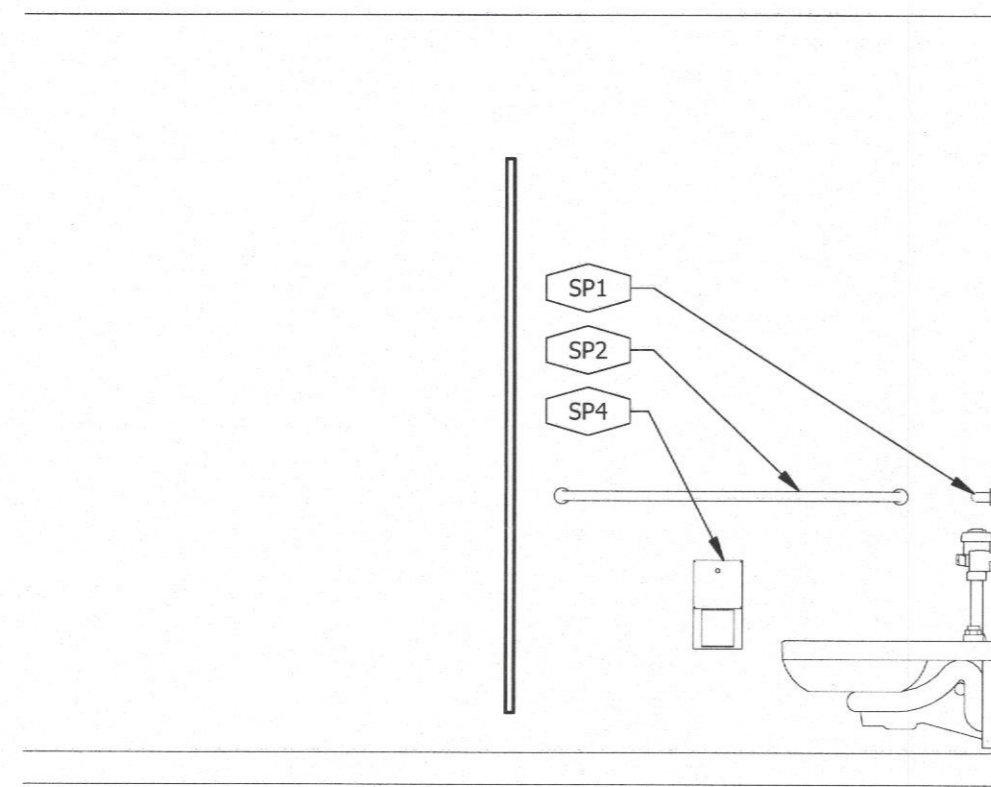
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A1 NEW WORK - FINISH PLAN

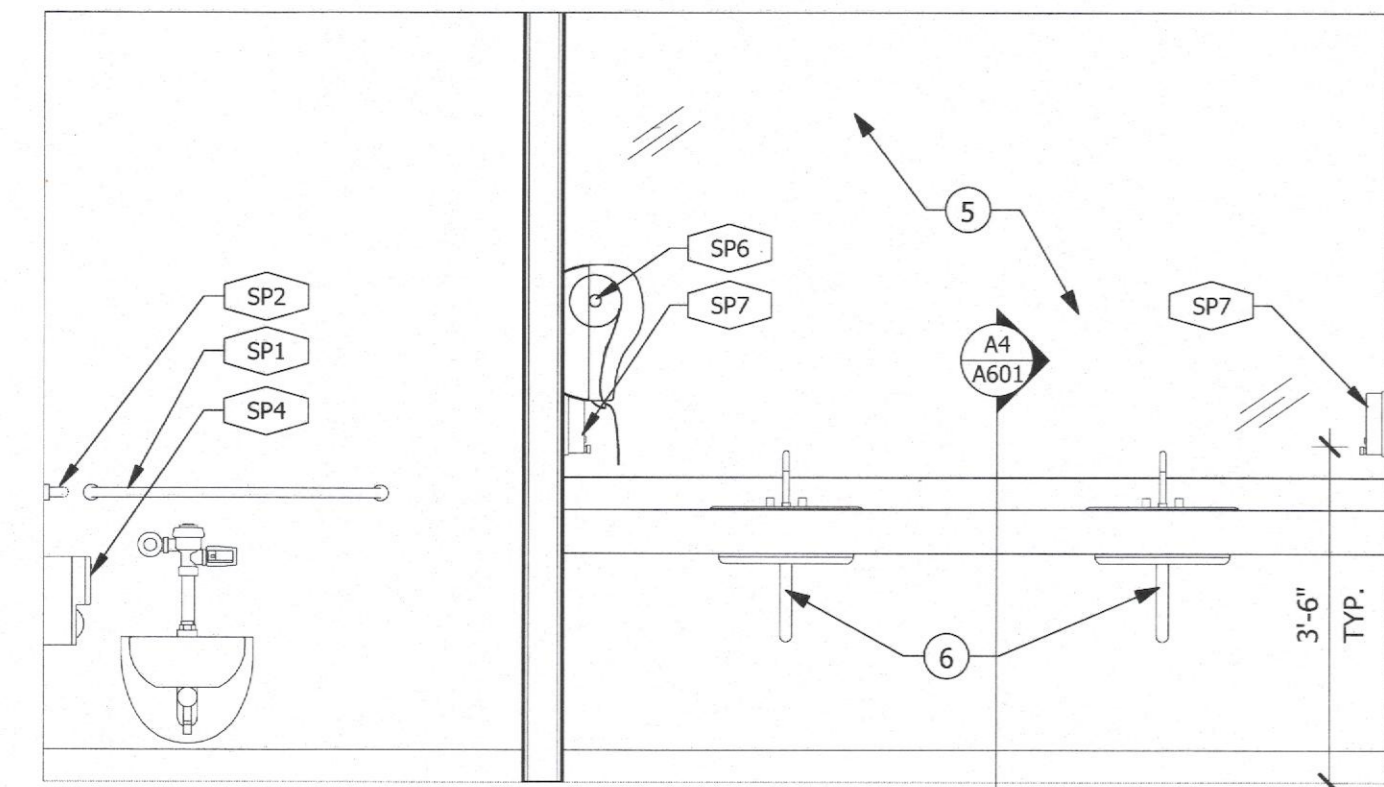
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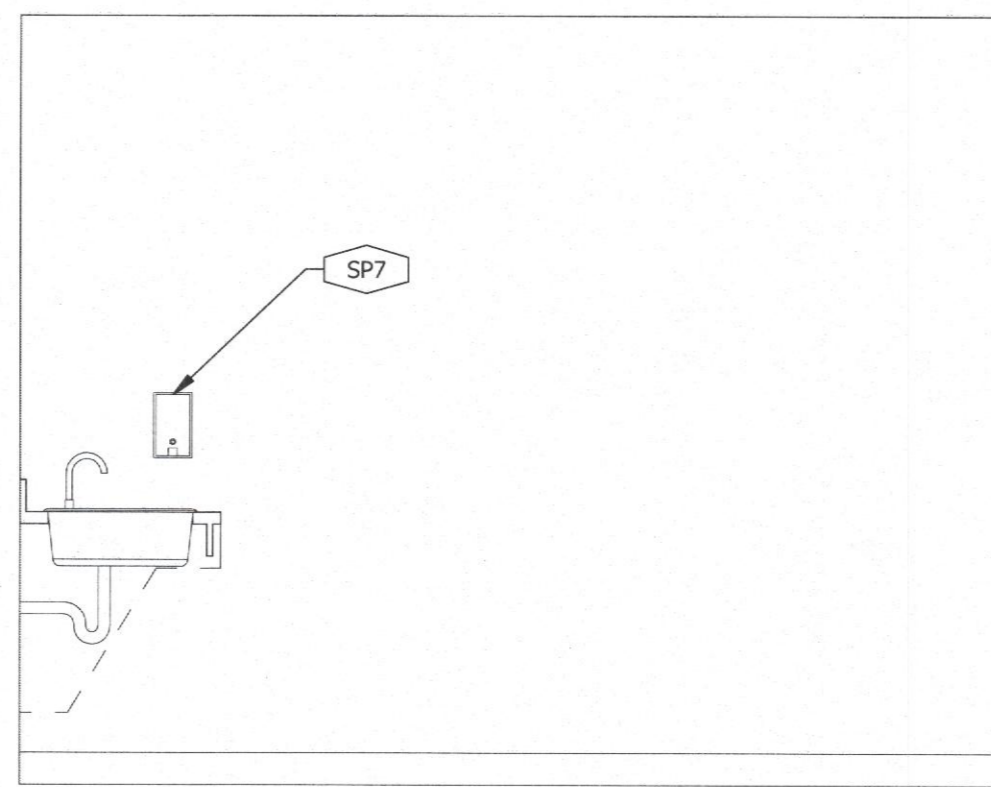
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B



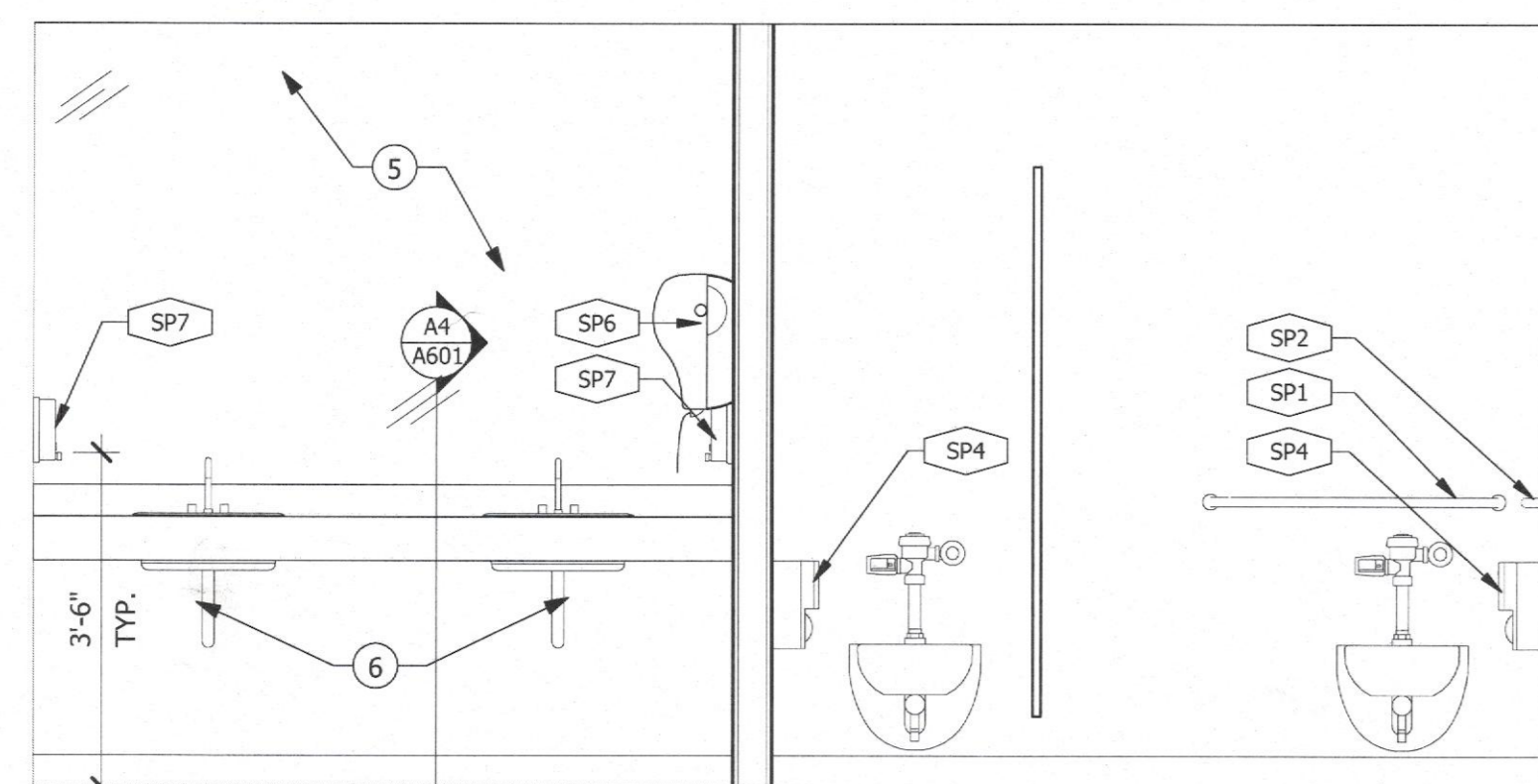
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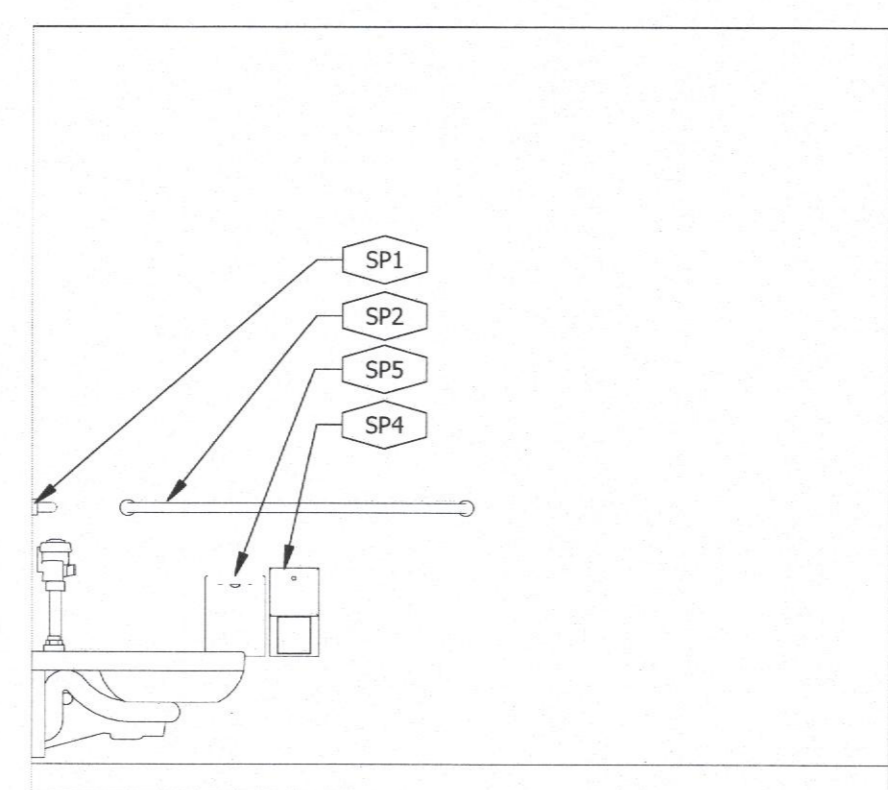
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J1 ELEVATIONS - MEN'S ROOM 231

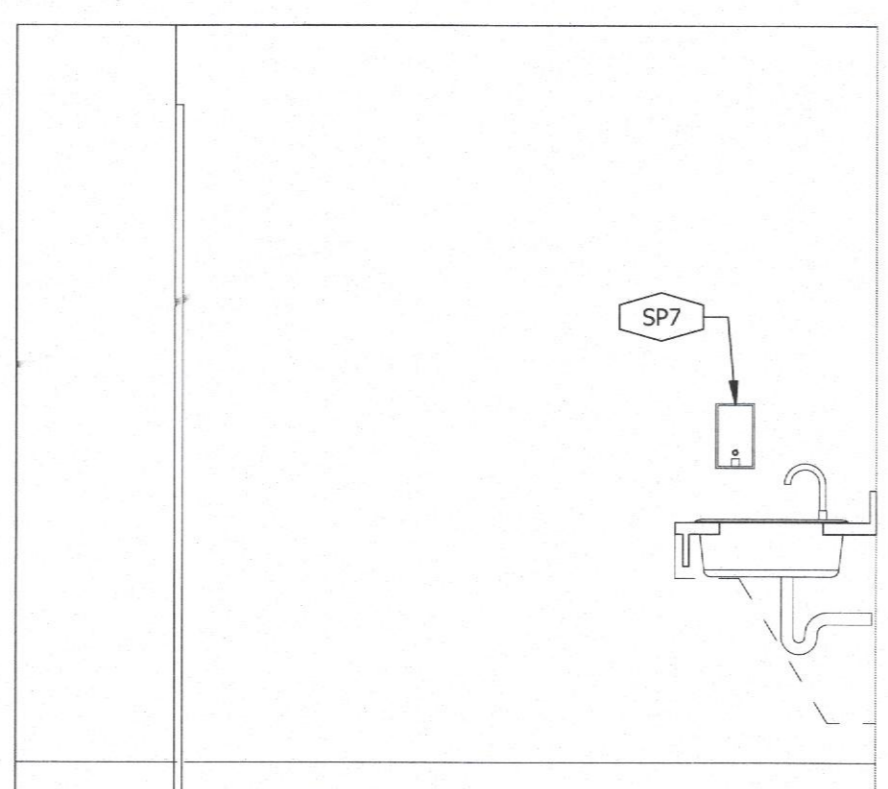
1/2" = 1'-0"



A



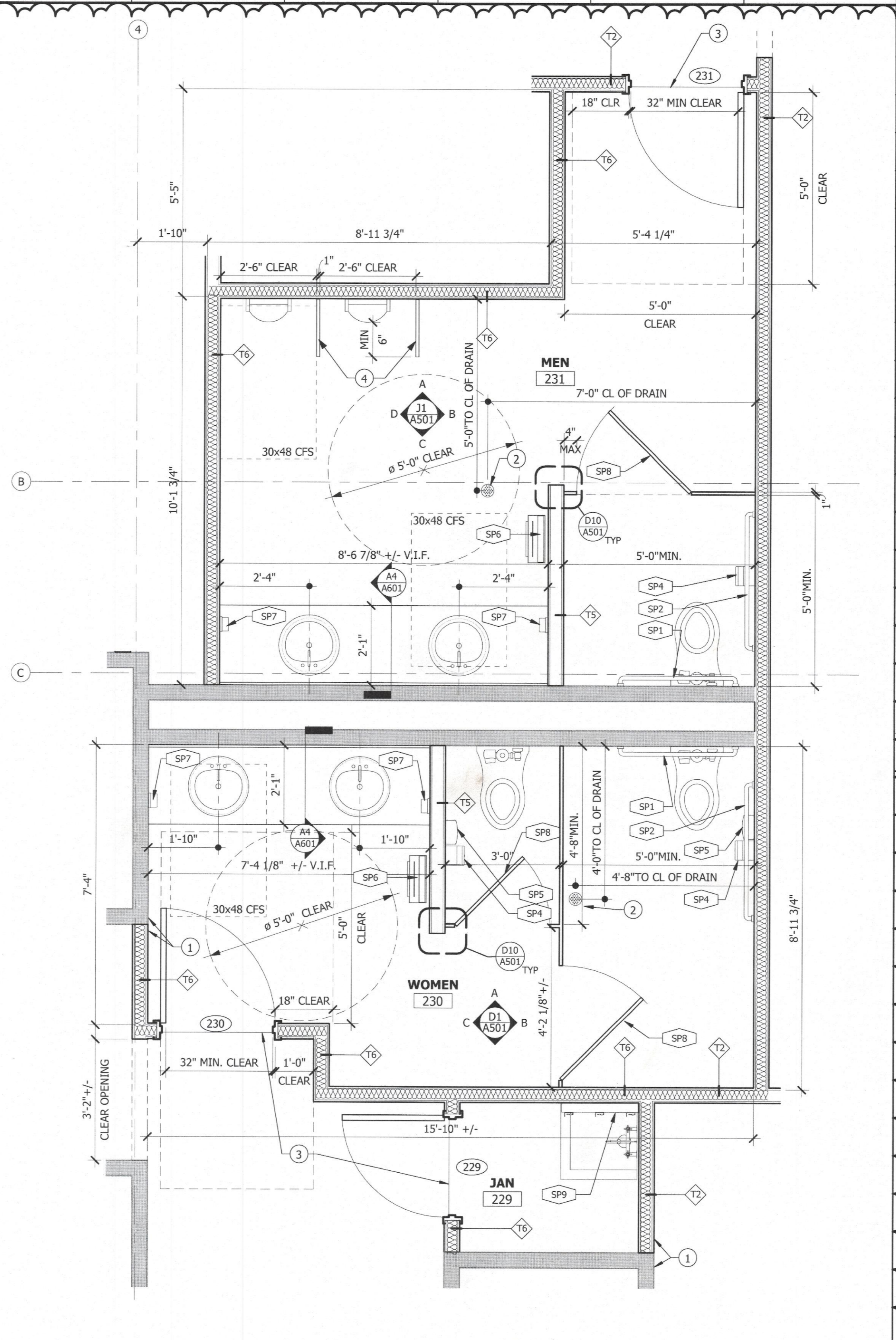
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C

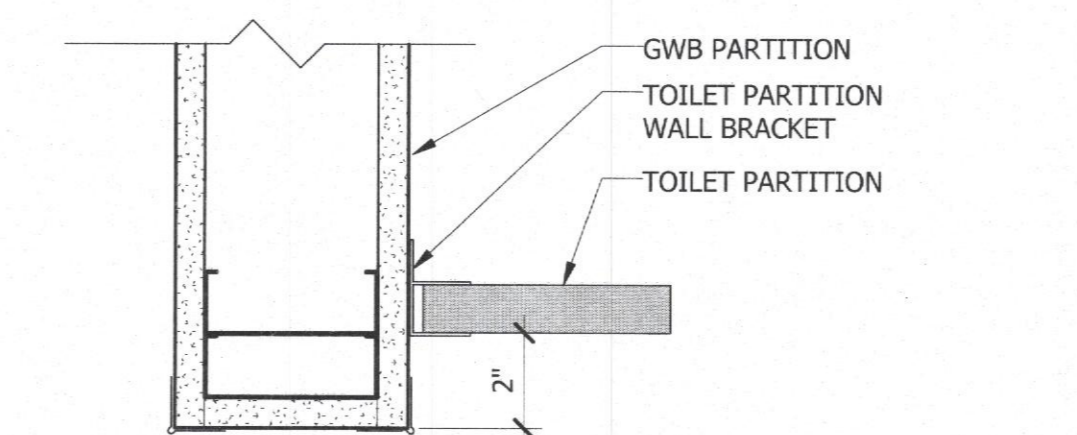
D1 ELEVATIONS - WOMEN'S ROOM 230

1/2" = 1'-0"



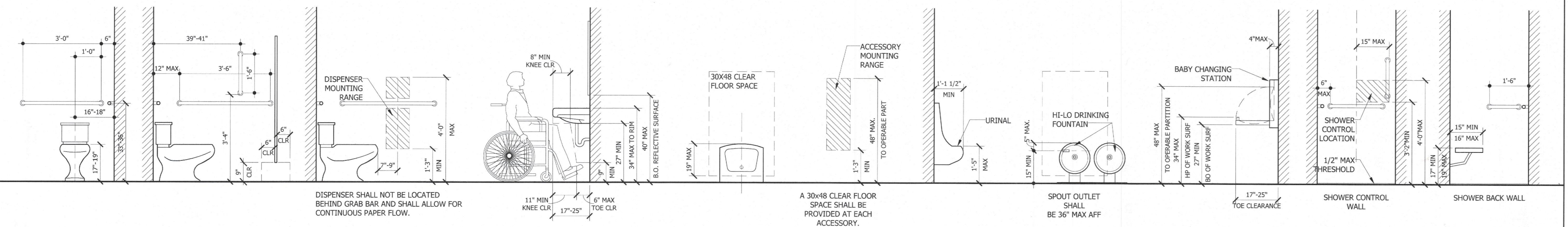
F10 ENLARGED TOILET ROOM PLAN

1/2" = 1'-0"



D10 TOILET PARTITION DETAIL

3" = 1'-0"



A1 TYPICAL ADA MOUNTING HEIGHTS

A16 SHEET NOTES

- A. SEE TYPICAL HEIGHTS THIS PAGE FOR TYPICAL PLUMBING AND ACCESSORY MOUNTING LOCATIONS AND HEIGHTS.
- B. THE DIMENSION SHALL BE TAKEN TO THE CENTERLINE OF THE OPERATING MECHANISM RATHER THAN THE TOP OF THE ACCESSORY FIXTURE.
- C. ACCESSORIES SHALL BE MOUNTED TO FALL WITHIN THE REACH RANGES SPECIFIED IN ADA 2010 SECTION 308.
- D. REFER TO REFLECTED CEILING PLAN FOR FINISH CEILING HEIGHTS.
- E. FLOOR FINISH MATERIALS SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE WITH A SMOOTH, HARD, NON-ABSORBANT SURFACE TO A HEIGHT OF 4" A.F.F. AND THE MATERIAL USED IN SUCH LOCATIONS SHALL BE A TYPE NOT ADVERSELY AFFECTED BY MOISTURE.
- F. WALLS AND PARTITIONS WITHIN 2' OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE TO A HEIGHT OF 4" A.F.F. AND THE MATERIAL USED IN SUCH LOCATIONS SHALL BE A TYPE NOT ADVERSELY AFFECTED BY MOISTURE.
- G. ALL ACCESSORIES PROVIDED ON OR WITHIN WALLS SHALL BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE BLOCKING AT ALL LOCATIONS. GRAB BAR MOUNTING MUST BE CERTIFIED TO WITHSTAND 250lb LOAD.
- H. PROVIDE MOISTURE RESISTANT GWB ON INSIDE FACE OF ALL BATHROOM WALLS.
- I. WHERE PROVIDED, 5% OF LOCKERS (AND NO FEWER THAN ONE) SHALL BE ACCESSIBLE.
- J. ACCESSORIES MOUNTED ABOVE AN OBSTRUCTION BETWEEN 10" AND 24" DEEP SHALL BE MOUNTED AT 46" MAX A.F.F.
- K. WHERE PROVIDED, ACCESSIBLE SHELVING SHALL BE LOCATED 40" MIN AND 48" MAX A.F.F.

16 GENERAL NOTES

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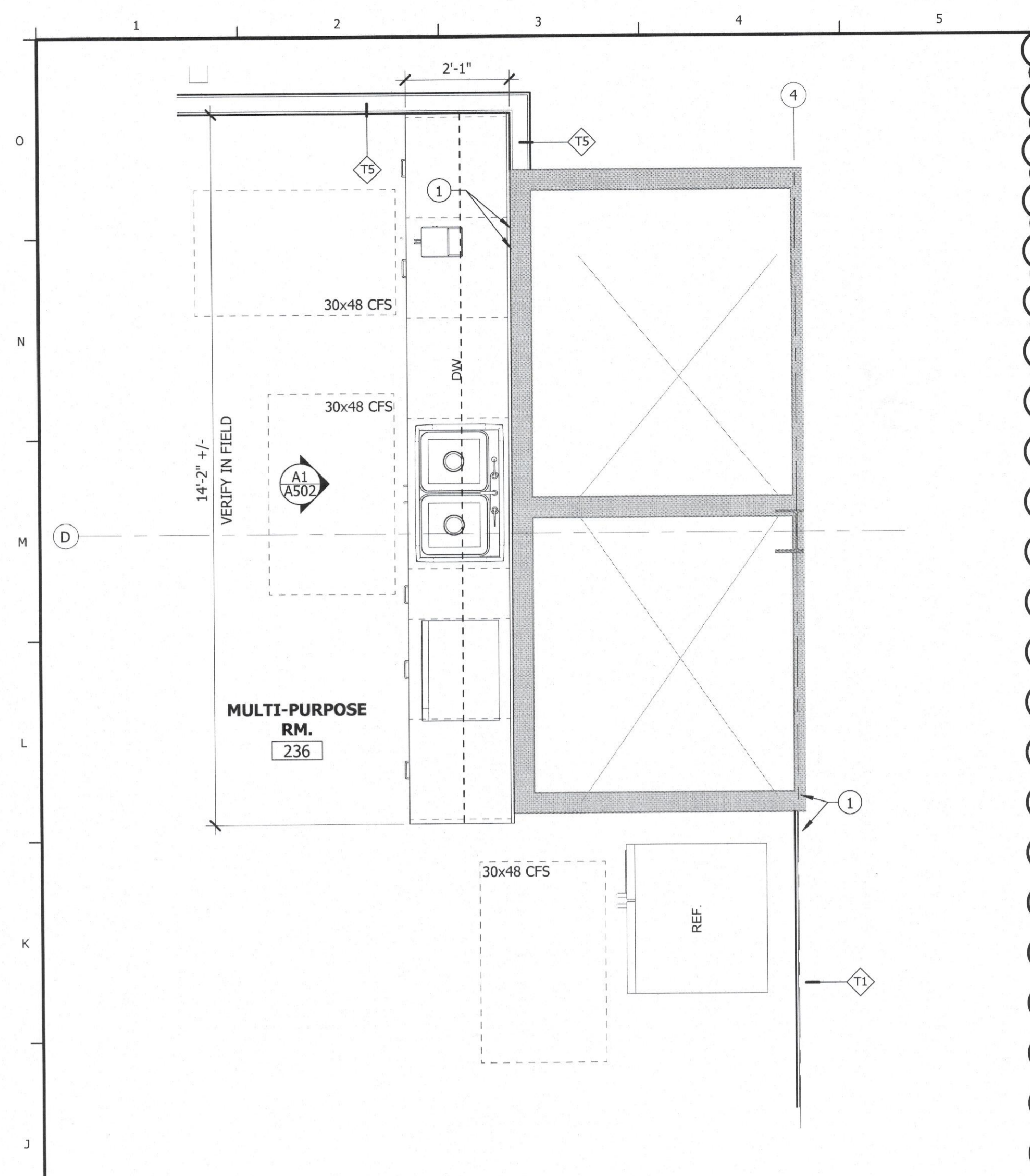
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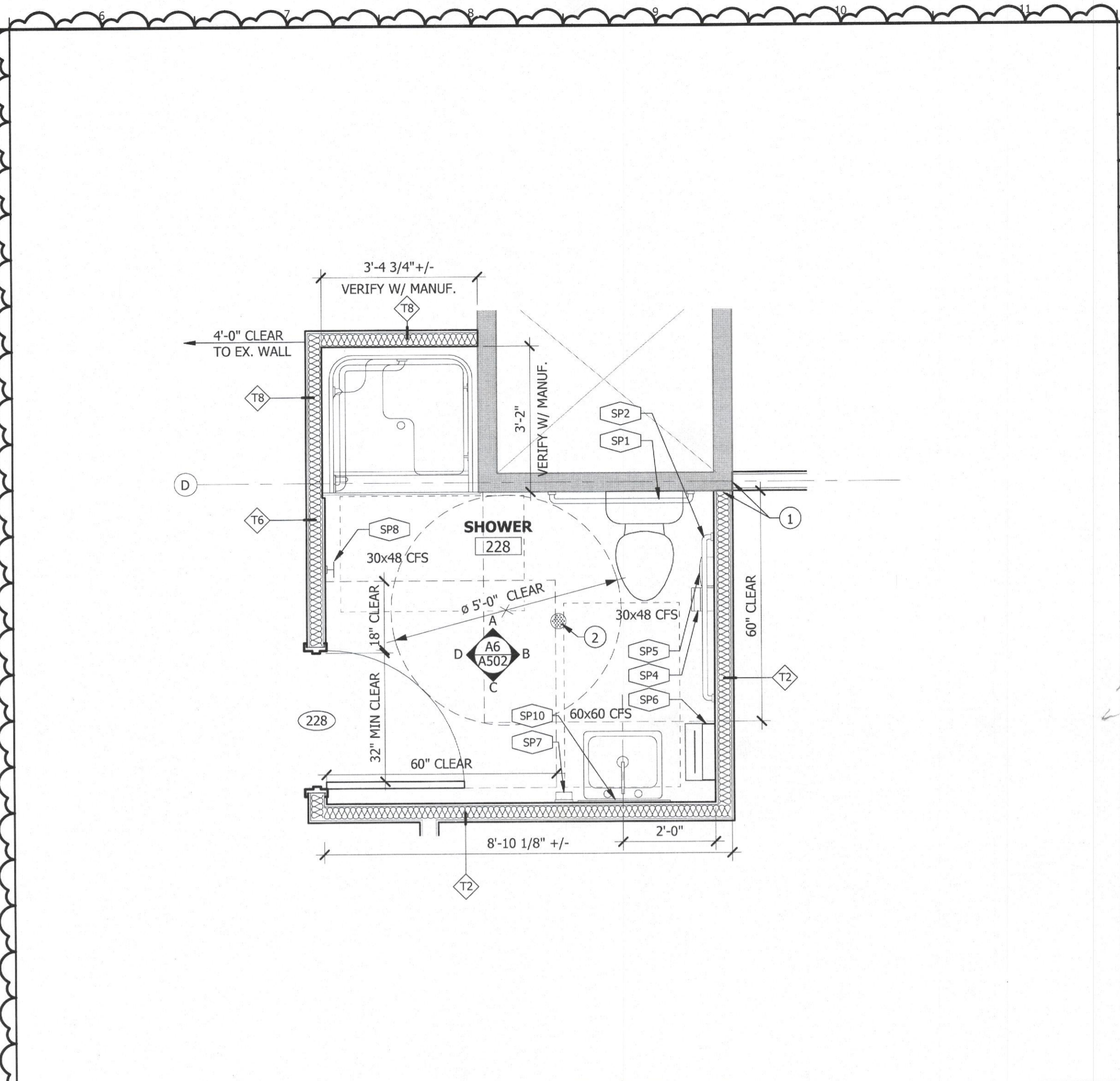
PROJECT NO	16040
DRAWN	MML
DESIGNED	MML
CHECKED	HRS

ENLARGED PLANS

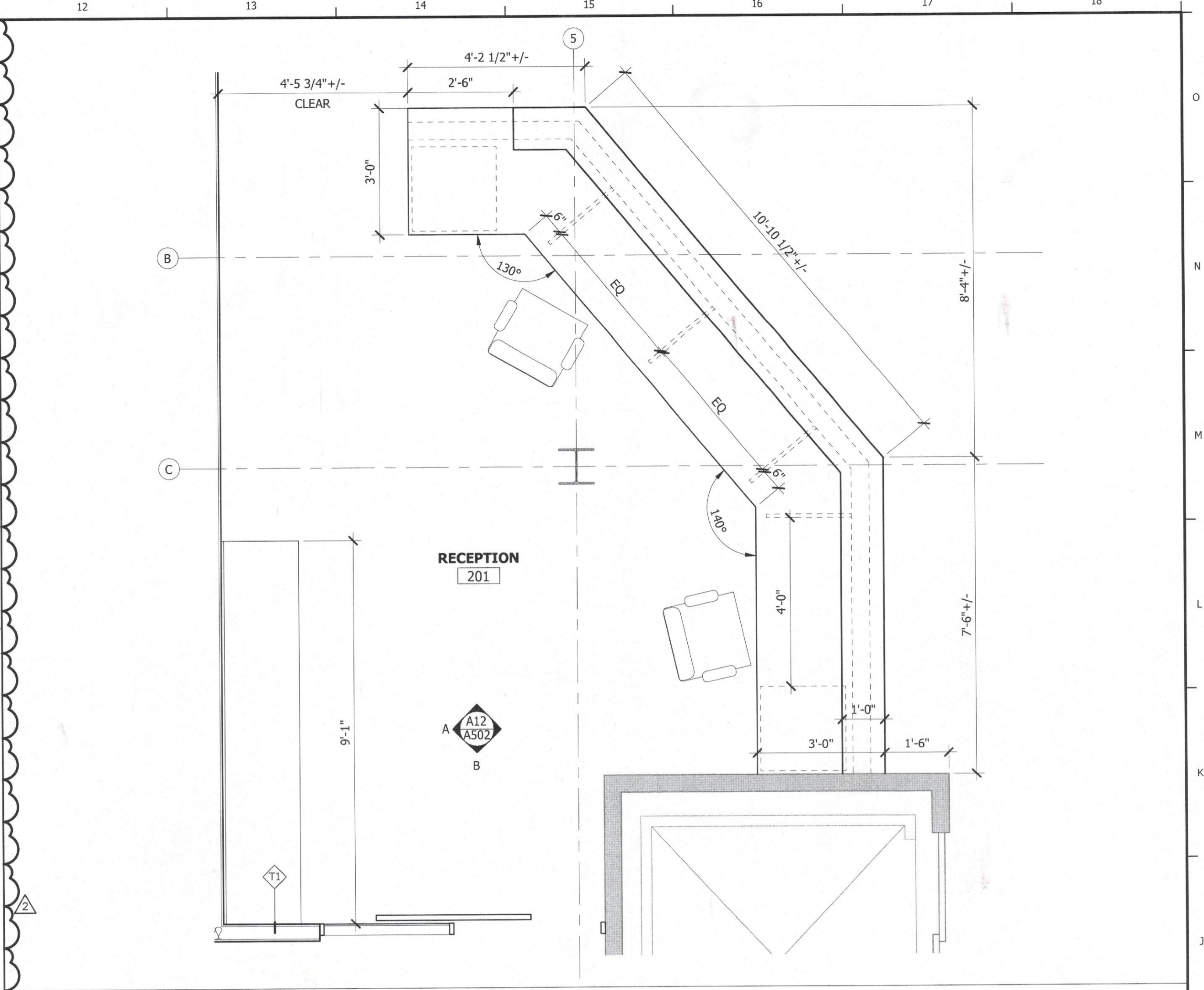
A501



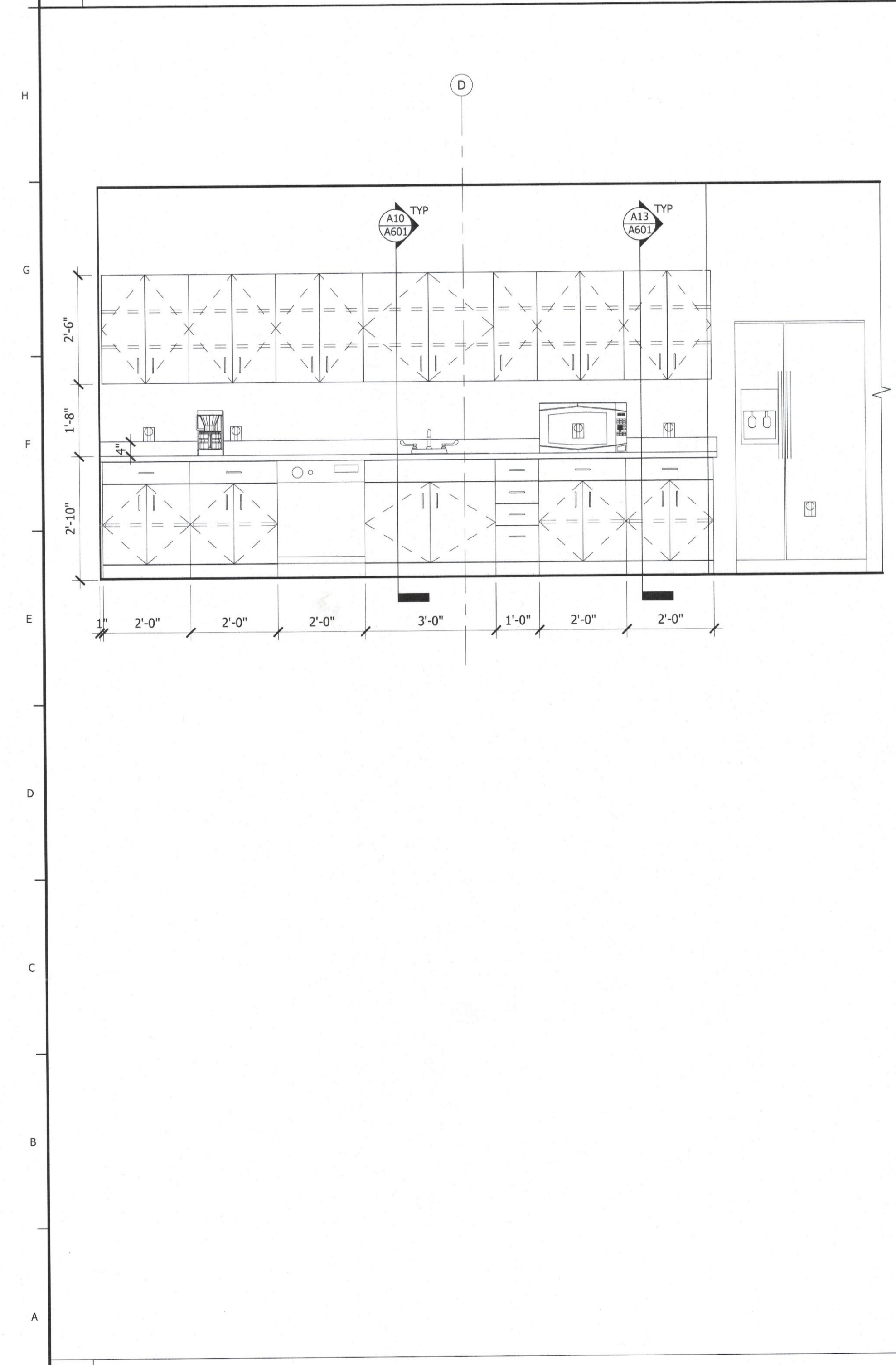
J1 ENLARGED KITCHENETTE PLAN 1/2" = 1'-0"



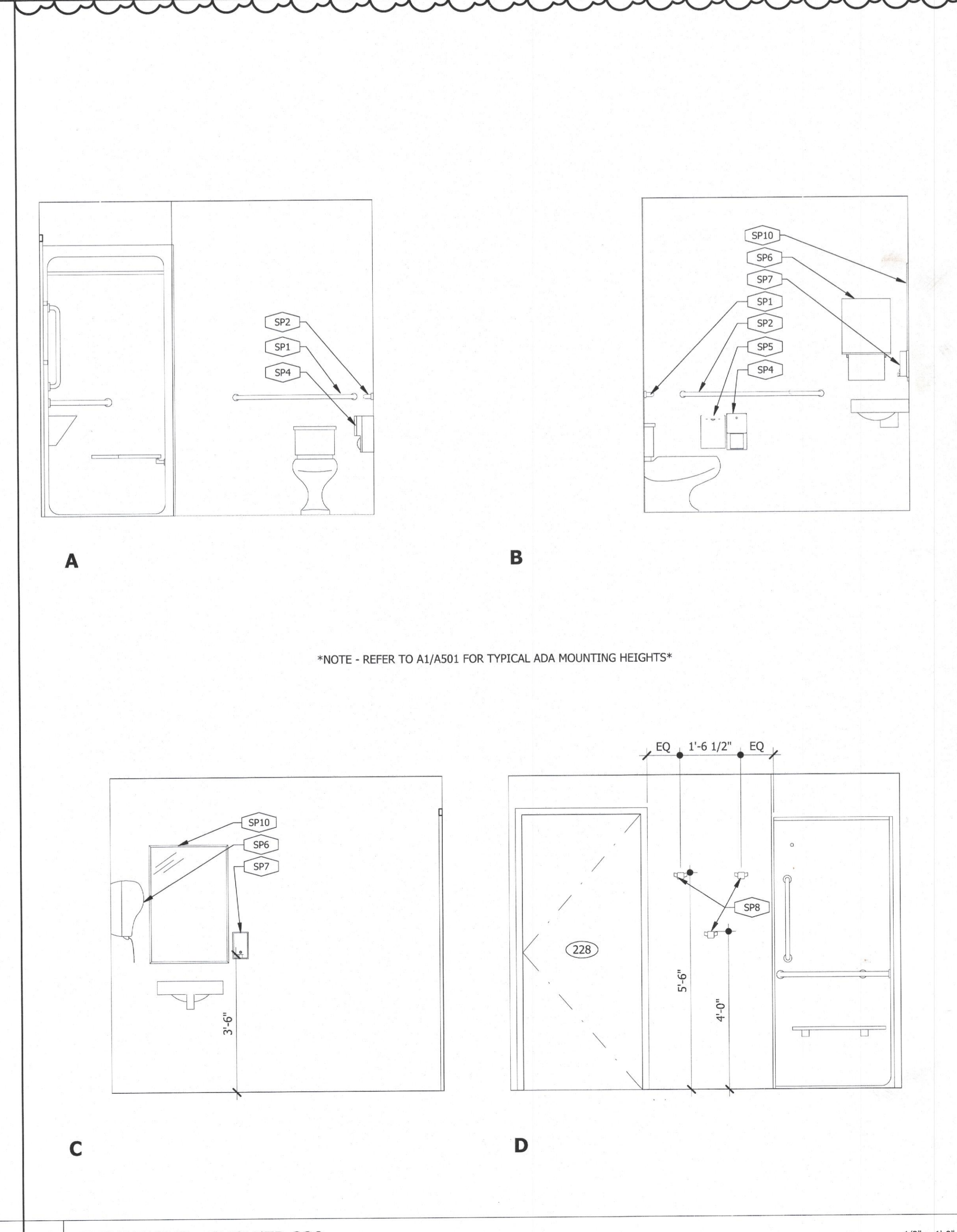
J6 ENLARGED SHOWER PLAN 1/2" = 1'-0"



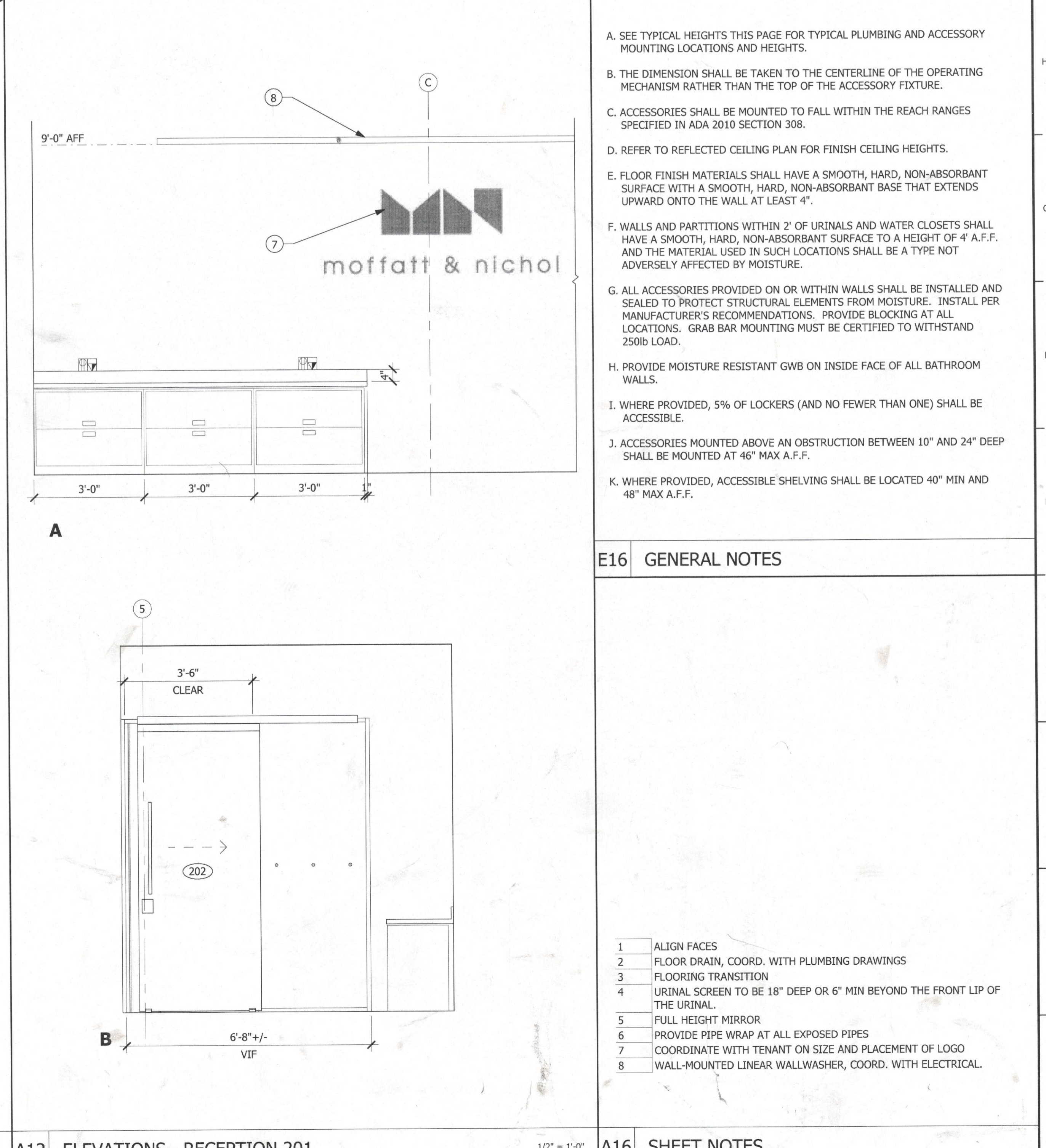
J12 ENLARGED PLAN 1/2" = 1'-0"



A1 ELEVATION - MULTI-PURPOSE 236 1/2" = 1'-0"



A6 ELEVATIONS - SHOWER 228 1/2" = 1'-0"



A12 ELEVATIONS - RECEPTION 201 1/2" = 1'-0"

- E16 GENERAL NOTES**
- A. SEE TYPICAL HEIGHTS THIS PAGE FOR TYPICAL PLUMBING AND ACCESSORY MOUNTING LOCATIONS AND HEIGHTS.
 - B. THE DIMENSION SHALL BE TAKEN TO THE CENTERLINE OF THE OPERATING MECHANISM RATHER THAN THE TOP OF THE ACCESSORY FIXTURE.
 - C. ACCESSORIES SHALL BE MOUNTED TO FALL WITHIN THE REACH RANGES SPECIFIED IN ADA 2010 SECTION 308.
 - D. REFER TO REFLECTED CEILING PLAN FOR FINISH CEILING HEIGHTS.
 - E. FLOOR FINISH MATERIALS SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE WITH A SMOOTH, HARD, NON-ABSORBANT BASE THAT EXTENDS UPWARD ONTO THE WALL AT LEAST 4".
 - F. WALLS AND PARTITIONS WITHIN 2' OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE TO A HEIGHT OF 4' A.F.F. AND THE MATERIAL USED IN SUCH LOCATIONS SHALL BE A TYPE NOT ADVERSELY AFFECTED BY MOISTURE.
 - G. ALL ACCESSORIES PROVIDED ON OR WITHIN WALLS SHALL BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE BLOCKING AT ALL LOCATIONS. GRAB BAR MOUNTING MUST BE CERTIFIED TO WITHSTAND 250LB LOAD.
 - H. PROVIDE MOISTURE RESISTANT GWB ON INSIDE FACE OF ALL BATHROOM WALLS.
 - I. WHERE PROVIDED, 5% OF LOCKERS (AND NO FEWER THAN ONE) SHALL BE ACCESSIBLE.
 - J. ACCESSORIES MOUNTED ABOVE AN OBSTRUCTION BETWEEN 10" AND 24" DEEP SHALL BE MOUNTED AT 46" MAX A.F.F.
 - K. WHERE PROVIDED, ACCESSIBLE SHELVING SHALL BE LOCATED 40" MIN AND 48" MAX A.F.F.

- E16 GENERAL NOTES**
- 1 ALIGN FACES
 - 2 FLOOR DRAIN, COORD. WITH PLUMBING DRAWINGS
 - 3 FLOORING TRANSITION
 - 4 URINAL SCREEN TO BE 18" DEEP OR 6" MIN BEYOND THE FRONT LIP OF THE URINAL.
 - 5 FULL HEIGHT MIRROR
 - 6 PROVIDE PIPE WRAP AT ALL EXPOSED PIPES
 - 7 COORDINATE WITH TENANT ON SIZE AND PLACEMENT OF LOGO
 - 8 WALL-MOUNTED LINEAR WALLWASHER, COORD. WITH ELECTRICAL

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MOFFATT & NICHOL TENANT FIT-OUT
 2780 LIGHTHOUSE POINT E. SECOND FLOOR
 BALTIMORE, MARYLAND 21224

DATE	DESCRIPTION
12/17/2016 <td>REF 1.9</td>	REF 1.9
	REVISIONS

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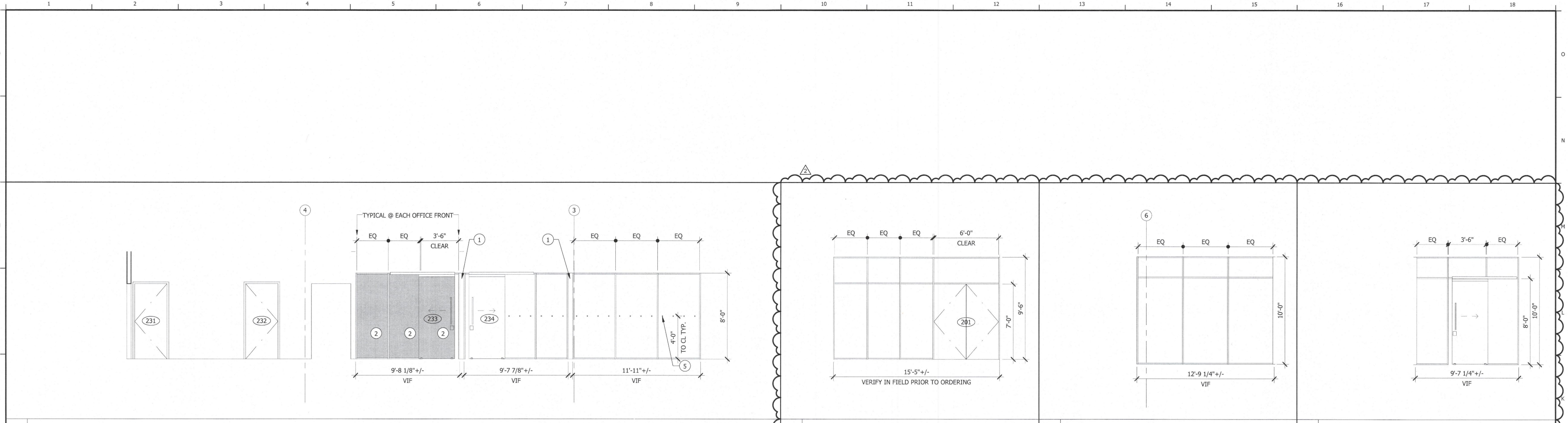
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PRELIMINARY	06/24/16
PERMITS	
BIDDING	
CONSTRUCTION	
PROJECT NO	10540
DRAWN	MML
DESIGNED	MML
CHECKED	HRS

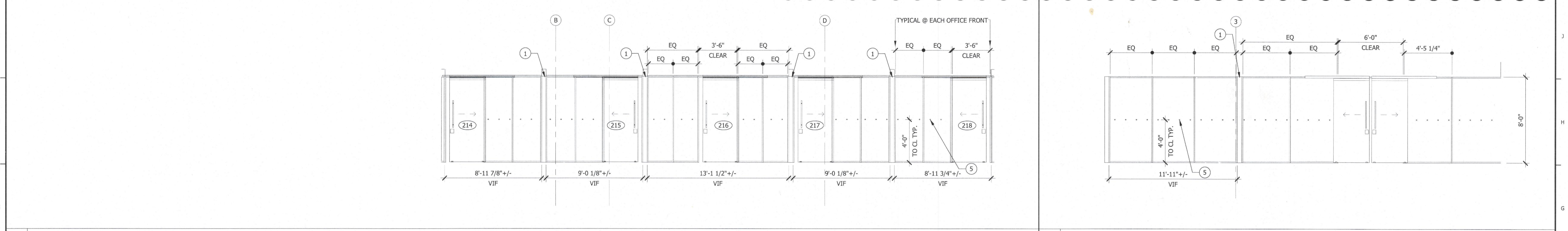
ENLARGED PLANS

A502

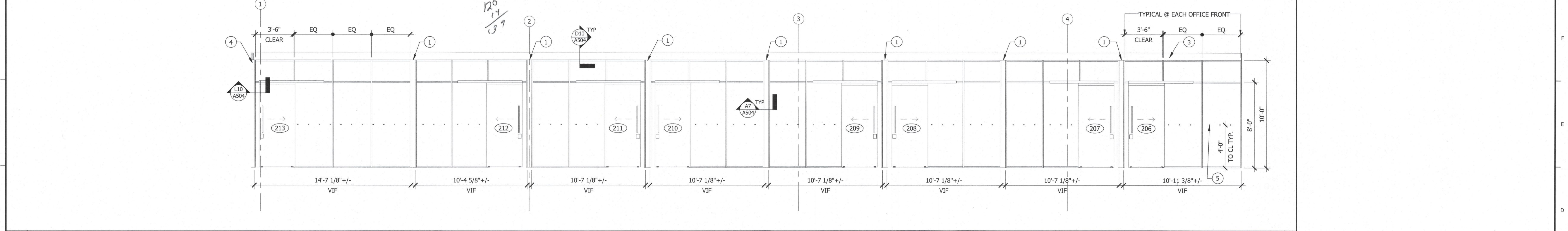
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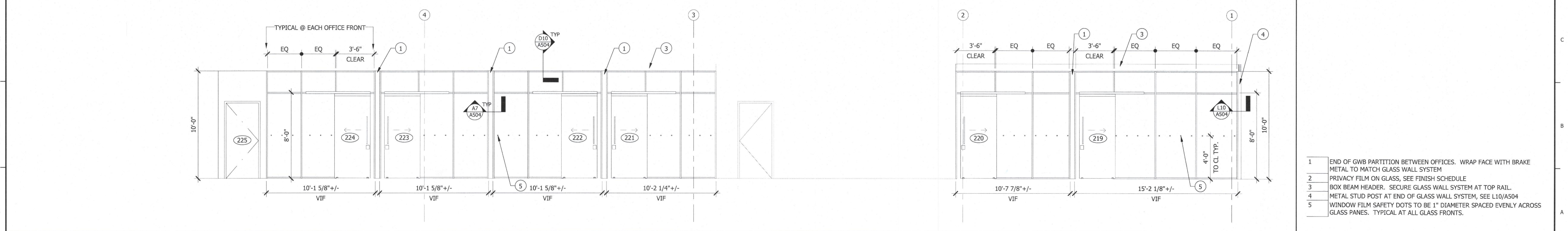
K1 INTERIOR ELEVATION 1/4" = 1'-0" K10 INTERIOR ELEVATION 1/4" = 1'-0" K13 INTERIOR ELEVATION 1/4" = 1'-0" K16 INTERIOR ELEVATION 1/4" = 1'-0"



G1 INTERIOR ELEVATION 1/4" = 1'-0" G13 INTERIOR ELEVATION 1/4" = 1'-0"



D1 INTERIOR ELEVATION 1/4" = 1'-0"



A1 INTERIOR ELEVATION 1/4" = 1'-0" A16 SHEET NOTES 1/4" = 1'-0"

- 1 END OF GWS PARTITION BETWEEN OFFICES. WRAP FACE WITH BRAKE METAL TO MATCH GLASS WALL SYSTEM.
- 2 PRIVACY FILM ON GLASS, SEE FINISH SCHEDULE
- 3 BOX BEAM HEADER. SECURE GLASS WALL SYSTEM AT TOP RAIL.
- 4 METAL STUD POST AT END OF GLASS WALL SYSTEM, SEE L10/A504
- 5 WINDOW FILM SAFETY DOTS TO BE 1" DIAMETER SPACED EVENLY ACROSS GLASS PANES. TYPICAL AT ALL GLASS FRONTS.

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MOFFATT & NICHOL TENANT FIT-OUT
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BALTIMORE, MARYLAND 21224

DATE	11/17/2016
DESCRIPTION	RFT 1-9
REVISIONS	

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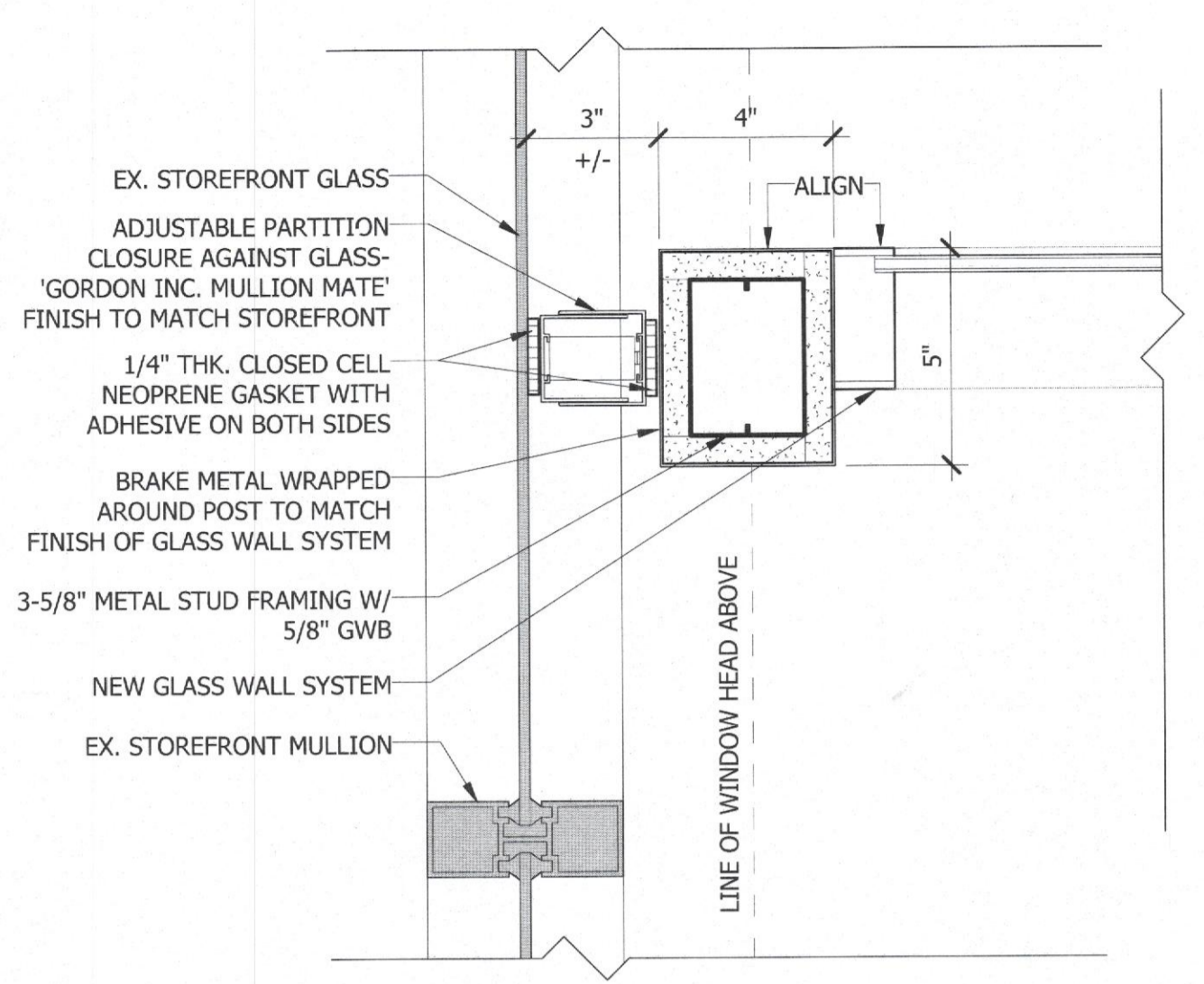
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Expiration Date: 12/22/16

PRELIMINARY	06/24/16
PERMITS	
BIDDING	
CONSTRUCTION	
PROJECT NO	16040
DRAWN	MML
DESIGNED	MML
CHECKED	HRS

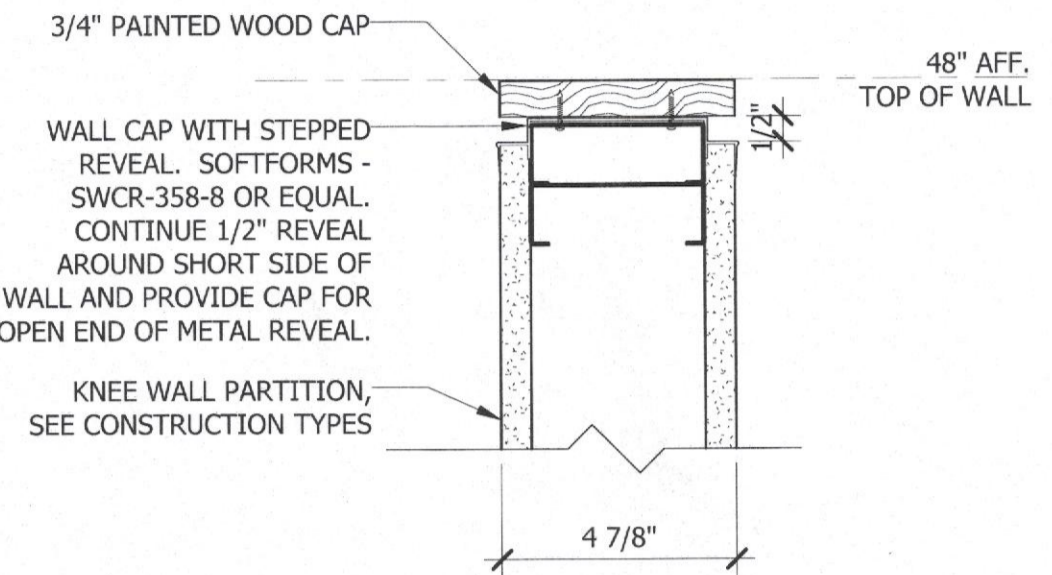
INTERIOR ELEVATIONS

A503

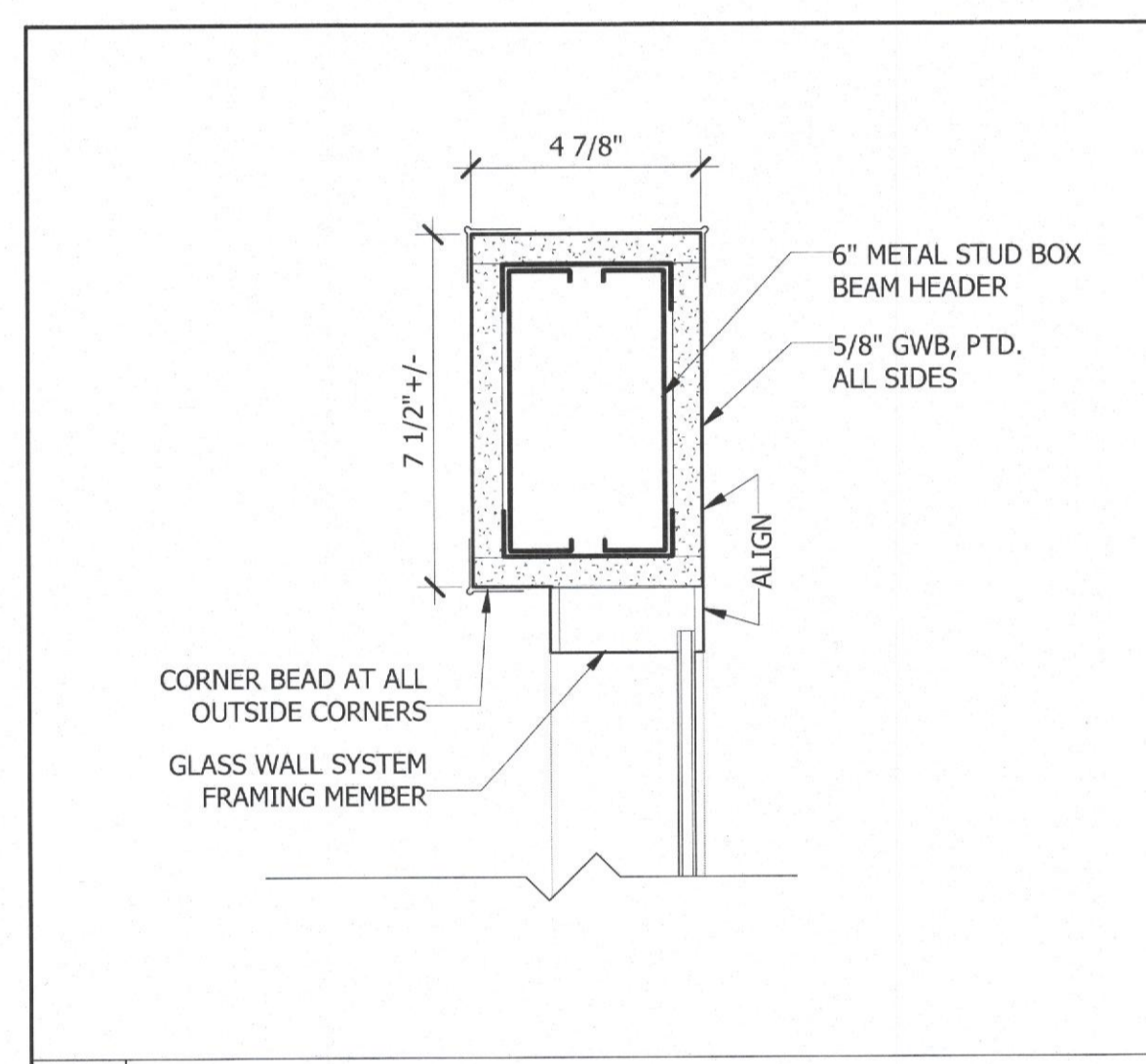
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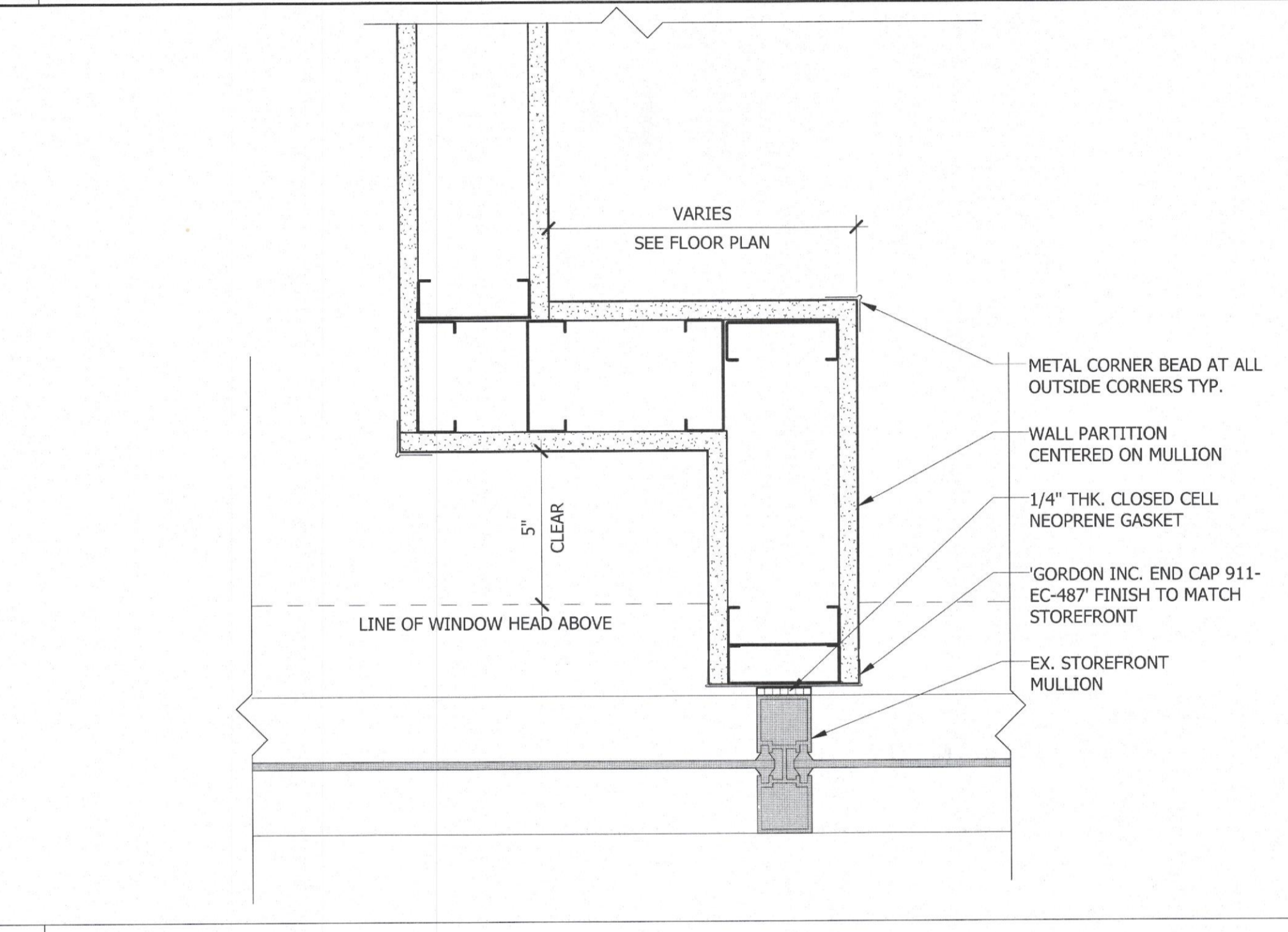
L10 DETAIL - END POST @ STOREFRONT GLASS 3" = 1'-0"



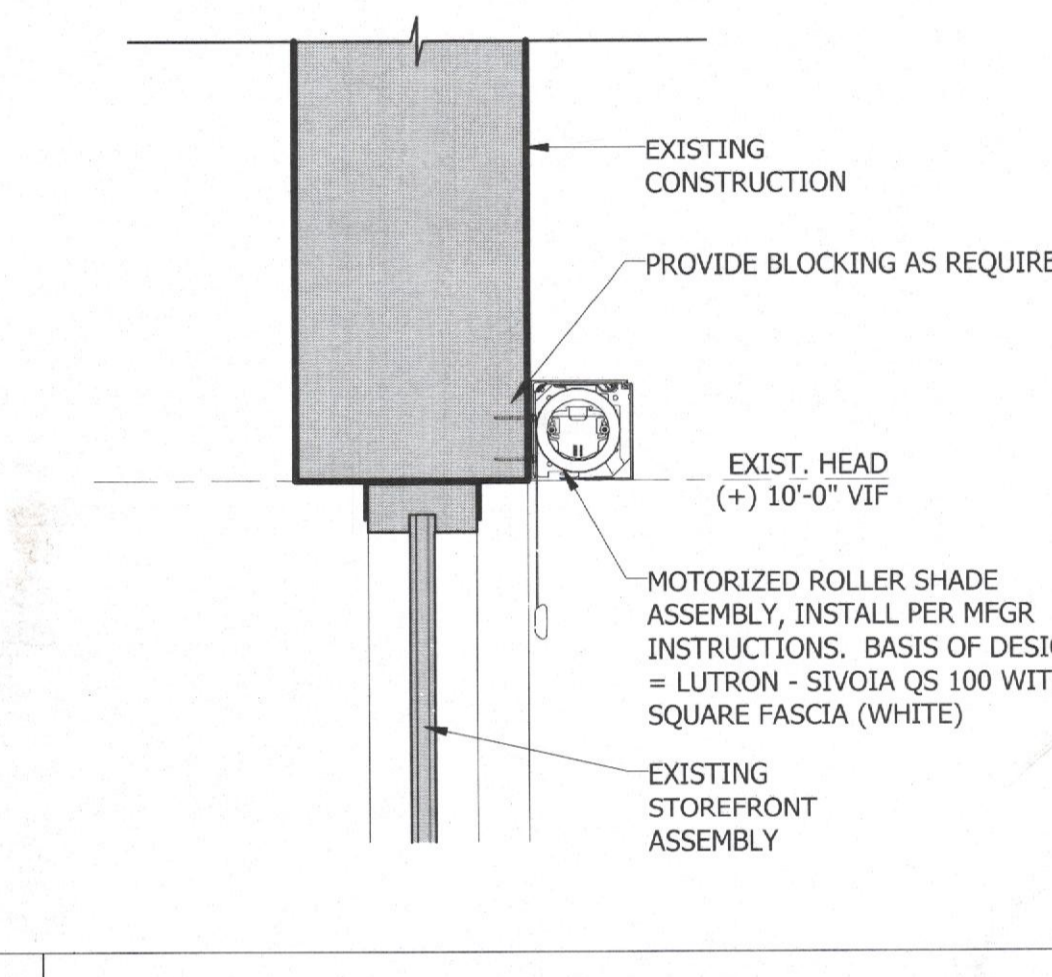
K16 DETAIL - KNEE WALL CAP 3" = 1'-0"



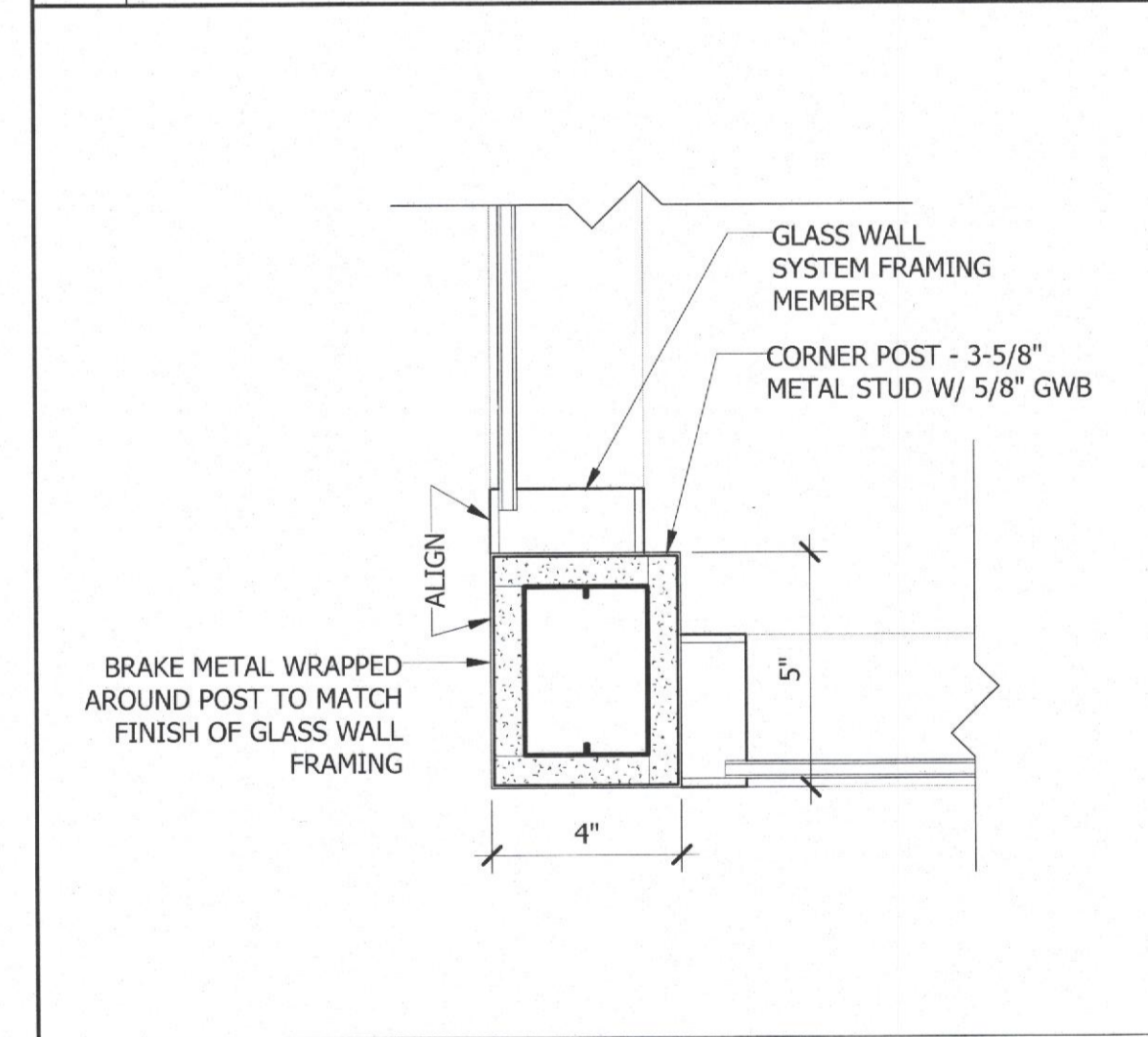
D10 DETAIL - GLASS WALL HEADER 3" = 1'-0"



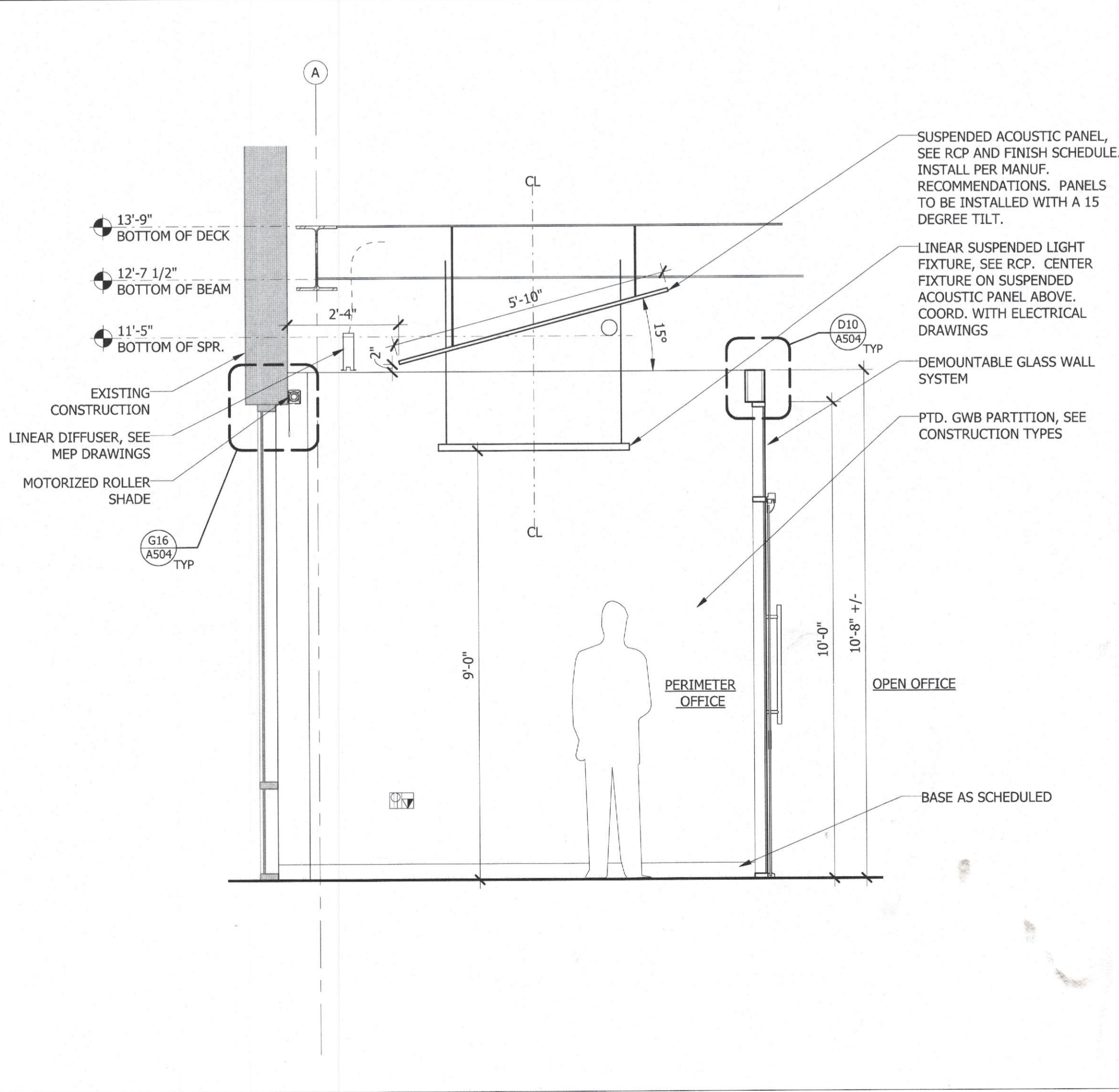
G10 DETAIL - PARTITION @ MULLION 3" = 1'-0"



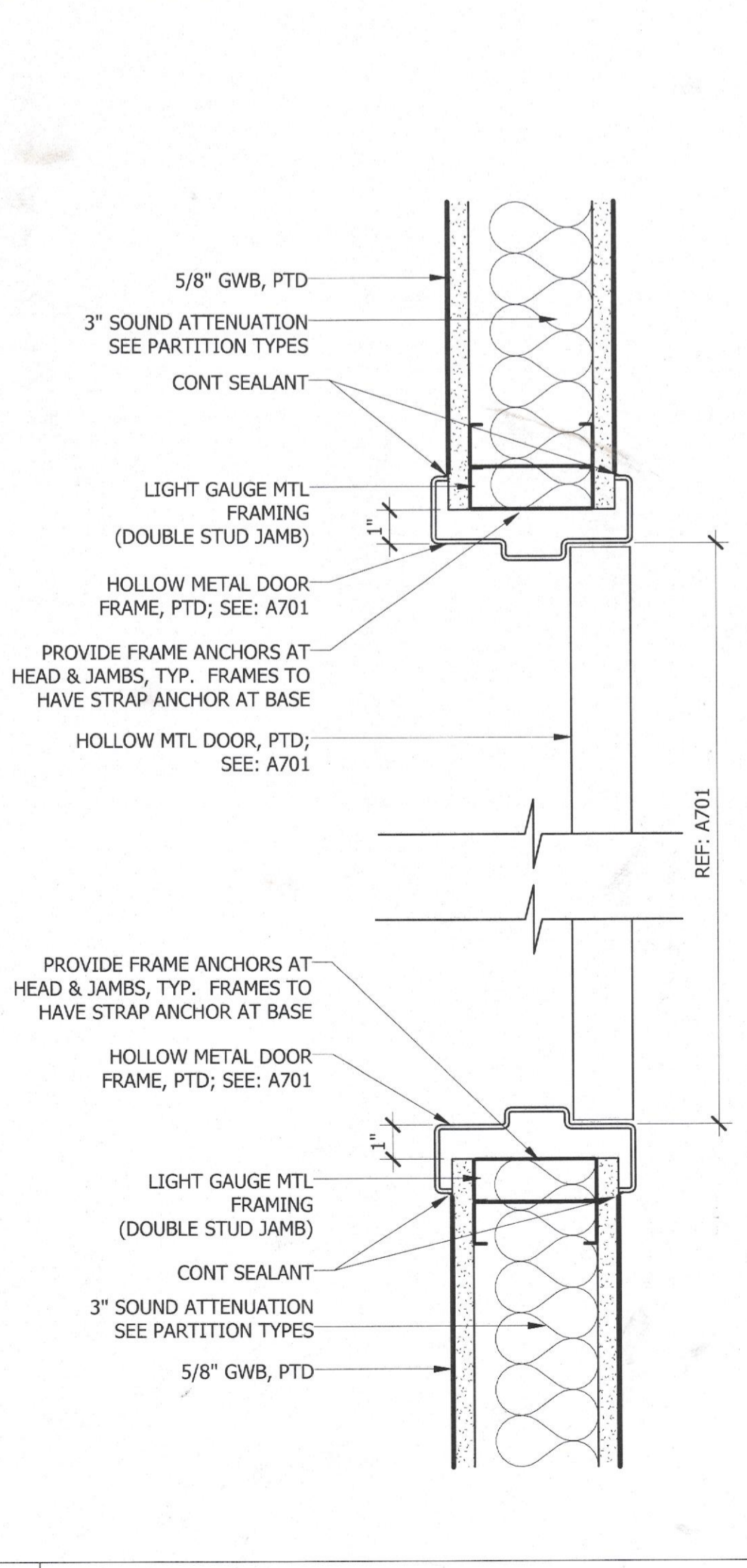
G16 DETAIL - ROLLER SHADE 1-1/2" = 1'-0"



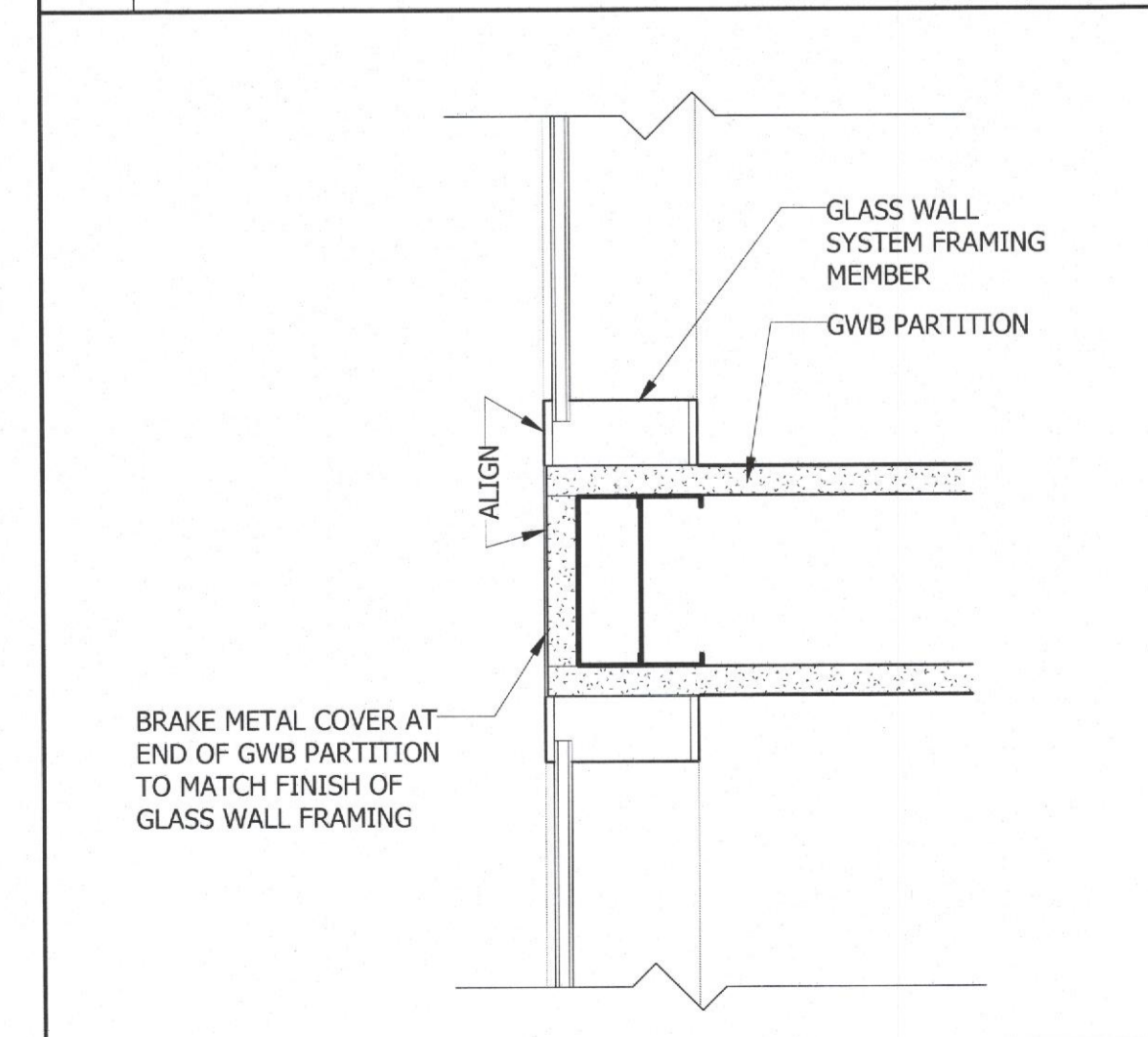
D7 DETAIL - GLASS WALL FRAMING 3" = 1'-0"



A10 SECTION @ TYPICAL OFFICE 1/2" = 1'-0"



A16 DETAIL - TYPICAL DOOR JAMB 3" = 1'-0"



A7 DETAIL - GLASS WALL FRAMING 3" = 1'-0"

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DATE	DESCRIPTION	REVISIONS

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PRELIMINARY PERMITS BIDDING CONSTRUCTION

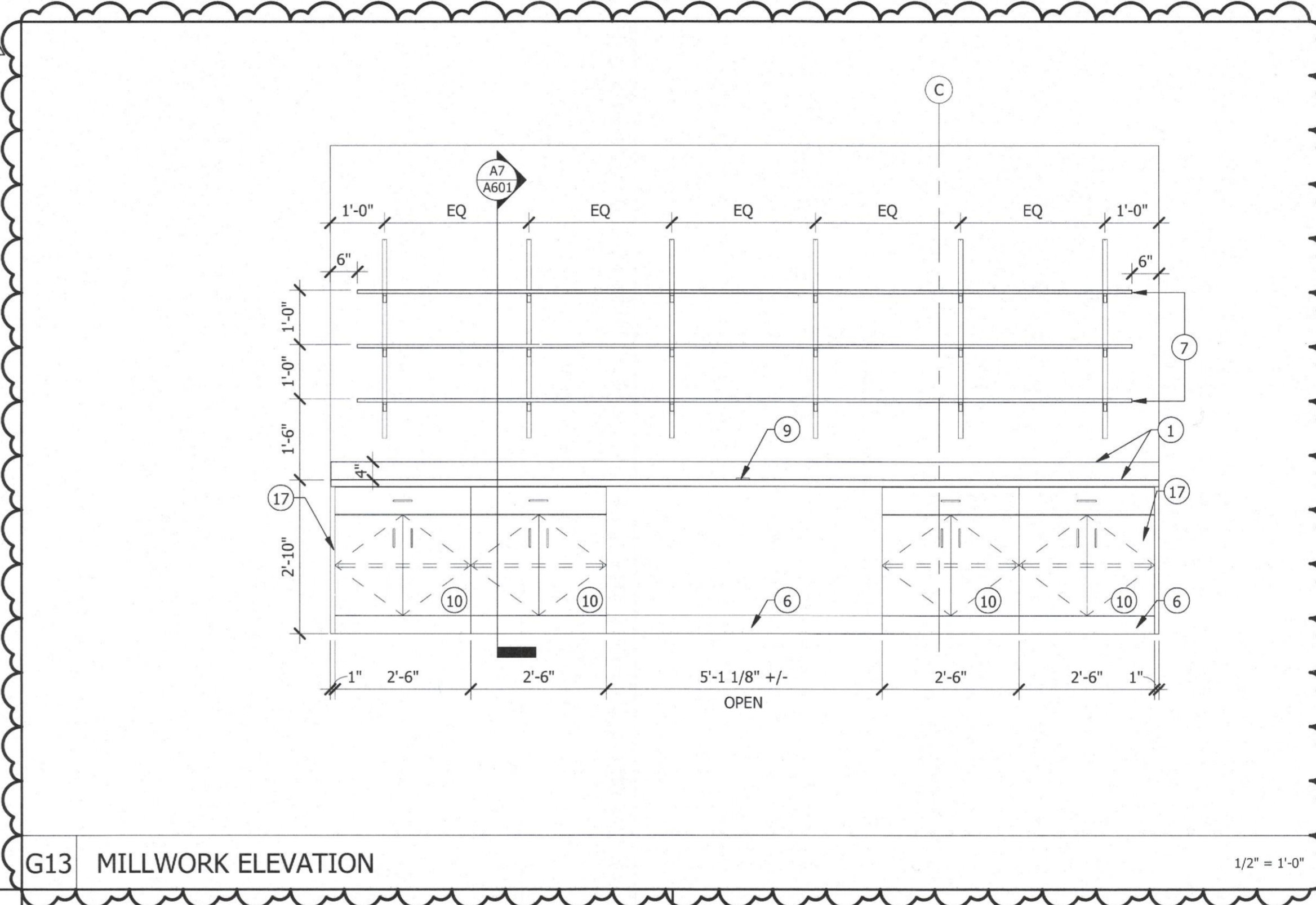
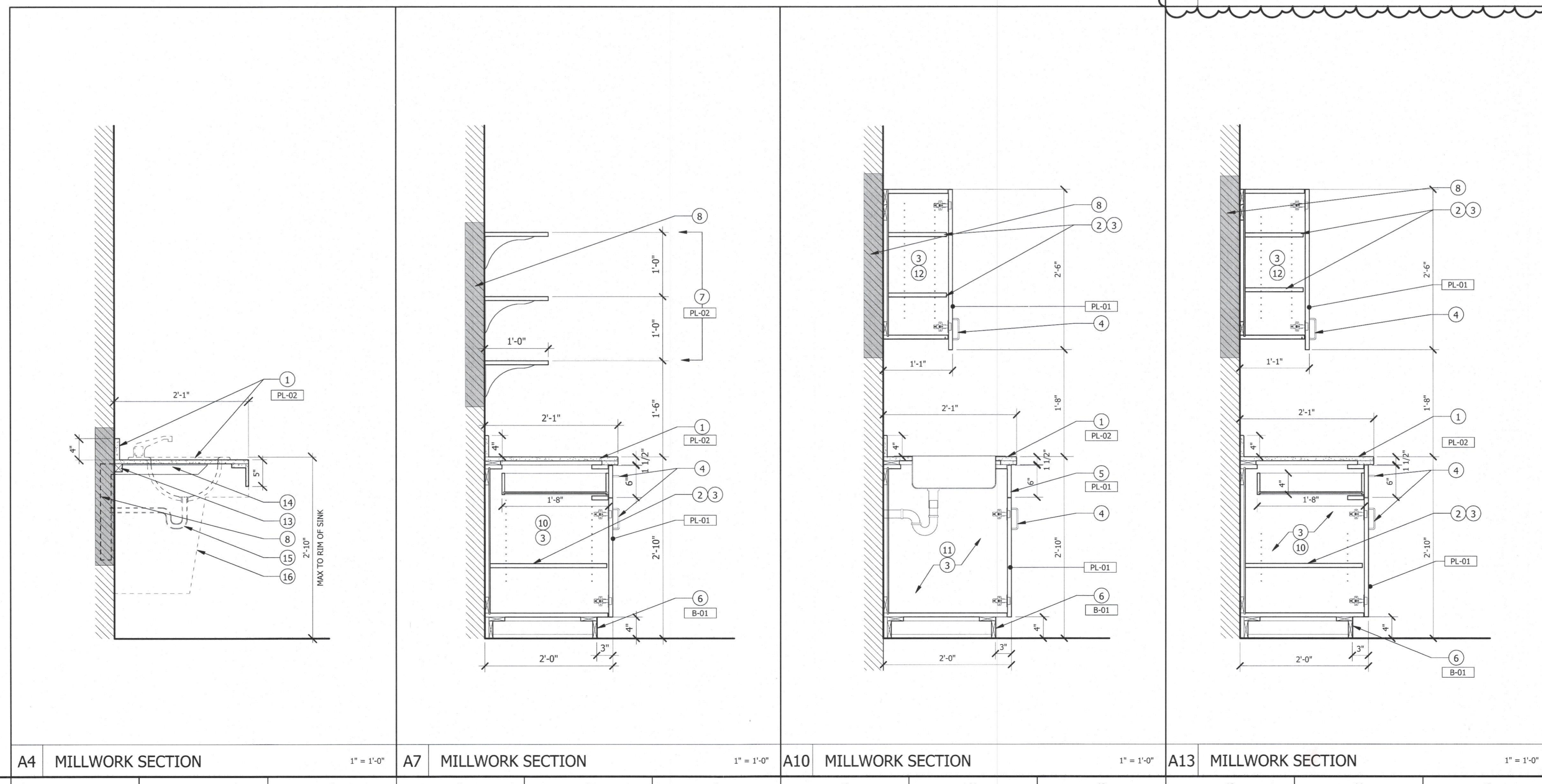
PROJECT NO 16040
DRAWN MML
DESIGNED MML
CHECKED HRS

DETAILS

A504

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H:\Baltimore Marine Center\16040 Moffatt-Nichol Fit-Out\Drawings\CAD Drawings\22-Architecture\00-Current\16040 Moffatt-Nichol RFI Base.rvt



- 1 PLASTIC LAMINATE COUNTER AND BACKSPASH
- 2 ADJUSTABLE SHELF; PLASTIC LAMINATE ON 3/4" PLYWOOD
- 3 FORMALDEHYDE-FREE, BLACK MELAMINE ON 3/4" PLYWOOD
- 4 4" STAINLESS STEEL PULL HARDWARE
- 5 FALSE FRONT, PLASTIC LAMINATE ON 3/4" PLYWOOD
- 6 BASE AS SCHEDULED
- 7 METAL STANDARD AND BRACKETS - COLOR: WHITE. SHELVES TO BE
- 8 PLASTIC LAMINATE
- 9 PROVIDE FRIT BLOCKING
- 10 3" GROMMET, FINISH: BLACK PLASTIC, COORD. PLACEMENT IN FIELD WITH OWNER
- 11 MILLWORK BASE CABINET WITH DRAWER AND ADJUSTABLE SHELF
- 12 MILLWORK SINK BASE CABINET WITH FALSE DRAWER FRONT
- 13 MILLWORK UPPER CABINET WITH ADJUSTIBLE SHELVING
- 14 2x2 NAILER OR METAL BRACKET SUPPORT
- 15 CONCEALED COUNTERTOP BRACKET C-18, A&M HARDWARE
- 16 PROVIDE PIPE WRAP AT ALL EXPOSED PLUMBING PIPES
- 17 OUTLINE OF ADA CLEARANCES, REF: SHEET G003
- 18 FILLER PANEL AS REQUIRED

DATE	DESCRIPTION
11/17/2016	RFI 1.9
REVISIONS	

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Expiration Date: 12/22/16

PRELIMINARY	DATE
PERMITS	06/24/16
BIDDING	
CONSTRUCTION	

PROJECT NO	16040
DRAWN	MML
DESIGNED	MML
CHECKED	HRS

MILLWORK

A601

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 BALTIMORE, MARYLAND 21224



MOFFATT & NICHOL
2780 LIGHTHOUSE POINT E., SECOND FLOOR
BALTIMORE, MD 21224

PROJECT

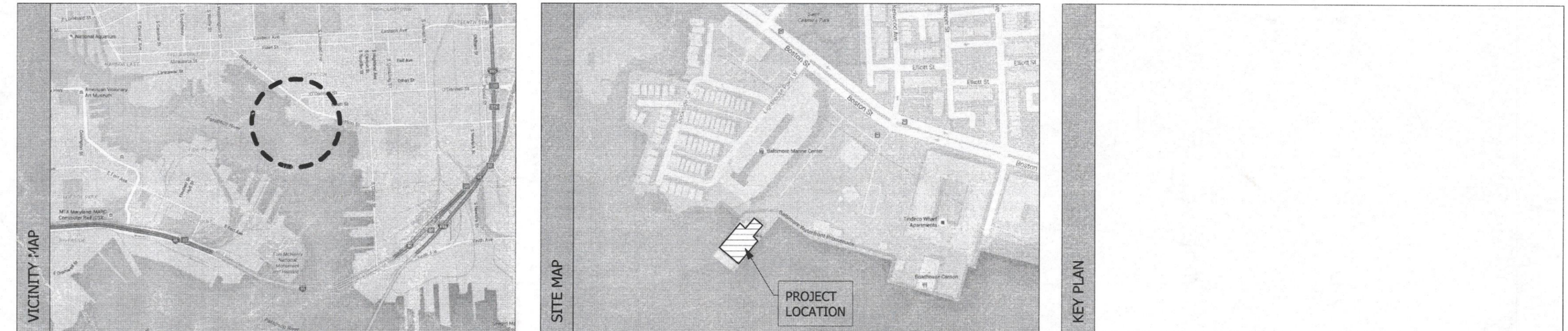
PROJECT TEAM

ARCHITECTURE
AMMON HEISLER SACHS architects, PC
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info@ahsarch.com

MECH/ELEC/PLUMB ENGINEERING
FLO-TRON CONTRACTING, INC.
10604 BEAVER DAM ROAD
HUNT VALLEY, MARYLAND 21030
P: 410.527.0060

ARCHITECT OF RECORD:
HAROLD R. SACHS II, AIA

ENGINEER OF RECORD:
SPENCER L. MATUSKY, PE, LEED AP BD+C



NO.	SHEET NAME	REV. NO.	REVISION DATE
GENERAL			
G001	COVER SHEET		
G002	GENERAL NOTES		
G003	TYPICAL ADA REQUIREMENTS		
ARCHITECTURAL			
A001	LIFE SAFETY PLAN		
A002	CONSTRUCTION TYPES		
AD101	DEMOLITION PLAN		
A101	FLOOR PLAN		
A102	REFLECTED CEILING PLAN		
A103	ENLARGED REFLECTED CEILING PLAN		
A104	FURNITURE & EQUIPMENT PLAN		
A105	FINISH PLAN		
A501	ENLARGED PLANS		
A502	ENLARGED PLANS		
A503	INTERIOR ELEVATIONS		
A504	DETAILS		
A601	MILLWORK		
A701	SCHEDULES		
MECHANICAL			
M000	MECHANICAL LEGEND ABBREVIATIONS AND GENERAL NOTES		
M100	FLOOR PLAN MECHANICAL DEMO		
M101	FLOOR PLAN MECHANICAL		
M102	ROOF PLAN MECHANICAL		
M200	PARTIAL FLOOR PLANS - PLUMBING		
M201	PLUMBING RISERS		
M300	DETAILS AND SCHEDULES		
ELECTRICAL			
E000	ELECTRICAL LEGEND ABBREVIATIONS AND GENERAL NOTES		
E101	FLOOR PLAN ELECTRICAL DEMO		
E201	FLOOR PLAN POWER AND SPECIAL SYSTEMS		
E301	FLOOR PLAN LIGHTING		
E401	FLOOR PLAN FIRE ALARM		
E501	POWER RISER DIAGRAM AND DETAILS		
E601	ELECTRICAL PANEL SCHEDULES		

DRAWING INDEX

PROJECT NARRATIVE	JURISDICTION
THIS PROJECT CONSISTS OF AN INTERIOR FIT-OUT OF AN EXISTING VACANT TENANT SPACE FOR A NEW BUSINESS USE. THE OVERALL BUILDING IS A TWO STORY MIXED USE COMMERCIAL BUILDING; THE TENANT SPACE TO BE OCCUPIED IS APPROXIMATELY 8,850 SQUARE FEET. IT IS ASSUMED THE BUILDING IS TYPE "IIB" CONSTRUCTION.	BALTIMORE CITY DEPT. OF HOUSING AND COMMUNITY DEVELOPMENT 417 E. FAYETTE STREET, ROOM 100 BALTIMORE, MARYLAND 21202 P: 410.396.3460
THE SPACE WILL INCLUDE OFFICES, CONFERENCE ROOMS, STAFF BREAKROOM, ACCESSIBLE RESTROOMS, AND SHOWER ROOM.	
<input type="checkbox"/> NEW CONSTRUCTION <input checked="" type="checkbox"/> EXISTING CONSTRUCTION 2ND FLOOR AREA: 9,506 SF	APPLICABLE CODES 2015 INTERNATIONAL BUILDING CODE 2015 INTERNATIONAL ENERGY CONSERVATION CODE 2012 INTERNATIONAL GREEN CONSTRUCTION CODE 2015 INTERNATIONAL FIRE CODE 2015 INTERNATIONAL FUEL GAS CODE 2015 INTERNATIONAL MECHANICAL CODE 2015 INTERNATIONAL PLUMBING CODE 2014 NATIONAL ELECTRICAL CODE (NFPA 70) 2015 MARYLAND BUILDING PERFORMANCE STANDARDS 2015 BALTIMORE CITY GREEN CONSTRUCTION CODE MARYLAND ACCESSIBILITY CODE - COMAR 2010 ADAAG / AMERICANS WITH DISABILITIES ACT (ADA)
<input type="checkbox"/> ALTERATION <input type="checkbox"/> ADDITION	
AUTO SPRINKLER SYSTEM <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
STANDPIPES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
FIRE ALARM <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
USE GROUP (SECTION 302):	A-2 ASSEMBLY (1ST FL.) + A-3 ASSEMBLY (2ND FL.)
EXISTING	A-2 ASSEMBLY (1ST FL.) + A-3 ASSEMBLY (2ND FL.)
PROPOSED	A-2 ASSEMBLY (1ST FL. - NO CHANGE) + BUSINESS (2ND FL.)
OCCUPANCY SEPARATION (TABLE 508.4)	
REQUIRED SEPARATION	1 HOUR - BUSINESS/ASSEMBLY (SPRINKLERED)
PROPOSED SEPARATION	1 HOUR - EXISTING TO REMAIN
CONSTRUCTION TYPE (TABLE 601):	
EXISTING	IIB
PROPOSED	IIB - NO CHANGE
BUILDING HEIGHT (TABLE 504.4):	
EXISTING	2 STORIES
ALLOWABLE ASSEMBLY A-2 - SPRINKLERED	3 STORIES
ALLOWABLE BUSINESS - SPRINKLERED	4 STORIES
PROPOSED	NO CHANGE
BUILDING AREA (TABLE 506.2)	
EXISTING	8,850 SF
ALLOWABLE - ASSEMBLY A-2 - SM	28,500 SF
ALLOWABLE - BUSINESS - SM	69,000 SF
PROPOSED	NO CHANGE
OCCUPANT LOAD (TABLE 1004.1.2):	
BUSINESS @ 100 SF	89 OCCUPANTS
NUMBER OF EXITS (SECTION 1006):	
REQUIRED	2
PROPOSED	2
MAX. EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2)	
ALLOWED	300'
PROPOSED	124'
MAX. COMMON PATH TRAVEL DISTANCE (TABLE 1006.2.1)	
ALLOWED	100'
PROPOSED	42'-8"
MAX. DEAD END CORRIDORS (SECTION 1020.4)	
ALLOWED	50'
PROPOSED	20'
EGRESS WIDTH (SECTION 1005)	
THE EGRESS CAPACITY OF 36" DOORS HAVE BEEN CALCULATED USING 34" AS AN ACTUAL CLEAR WIDTH. 34" / 0.20" = 170 PERSONS	
THE EGRESS CAPACITY OF 72" DOORS HAVE BEEN CALCULATED USING 68" AS AN ACTUAL CLEAR WIDTH. 68" / 0.20" = 340 PERSONS	
THE EGRESS CAPACITY OF STAIRS HAVE BEEN CALCULATED AS 0.3" PER PERSON. 89 OCCUPANTS X 0.3" = 26.7" (REQ'D.) 41" PROVIDED	

CODE REVIEW

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DATE	DESCRIPTION
	REVISIONS

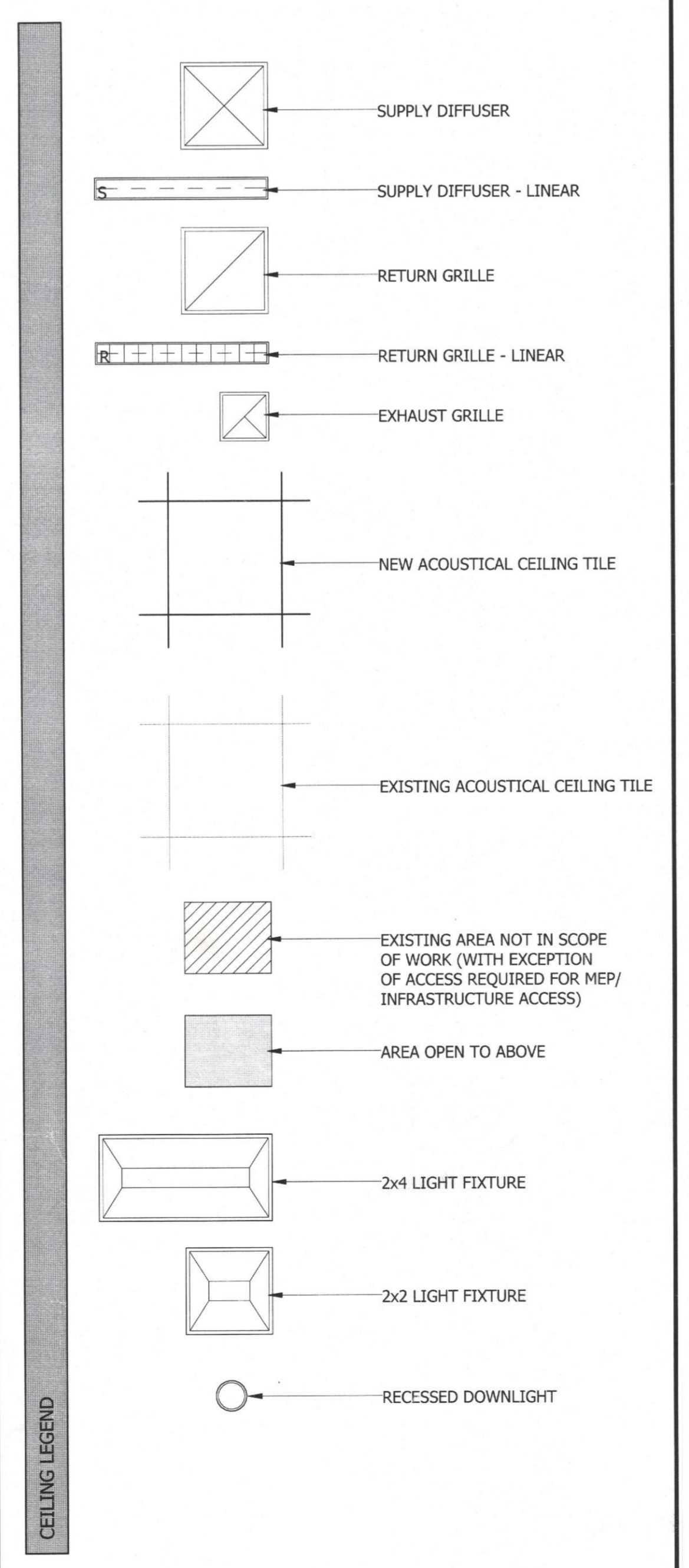
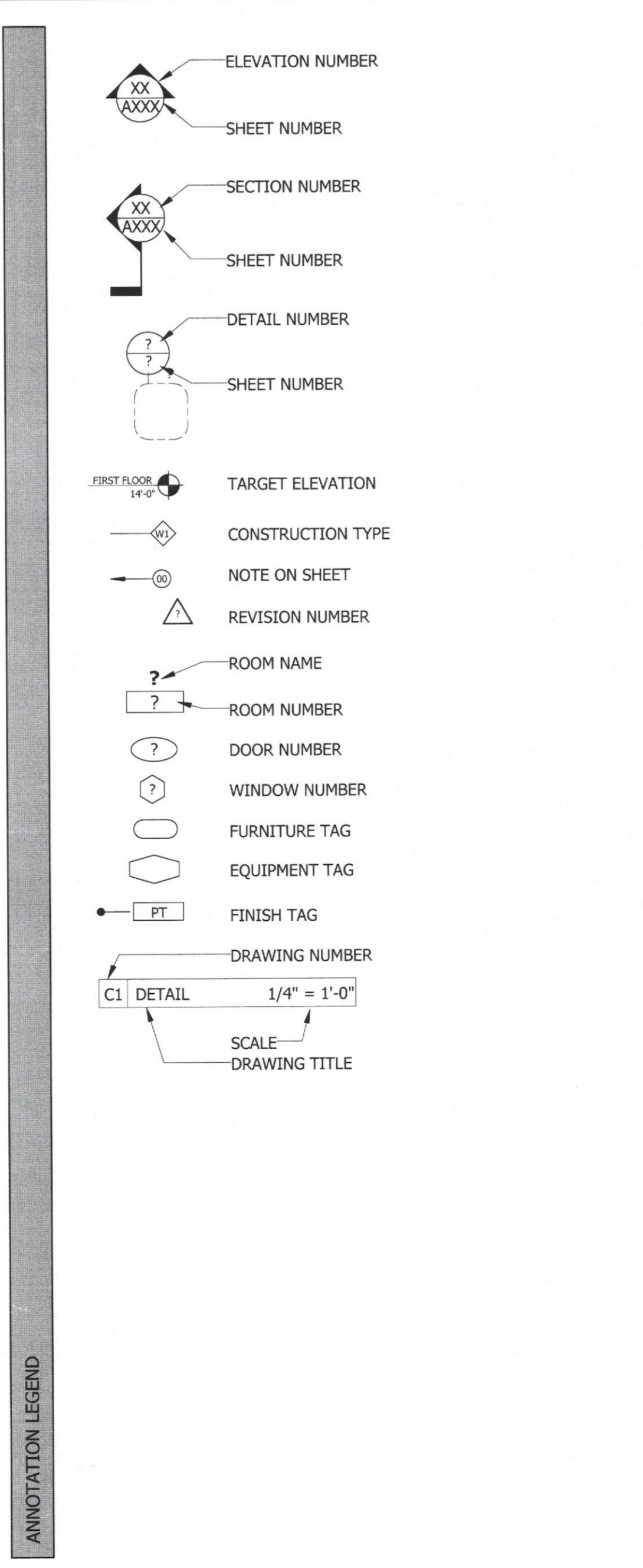
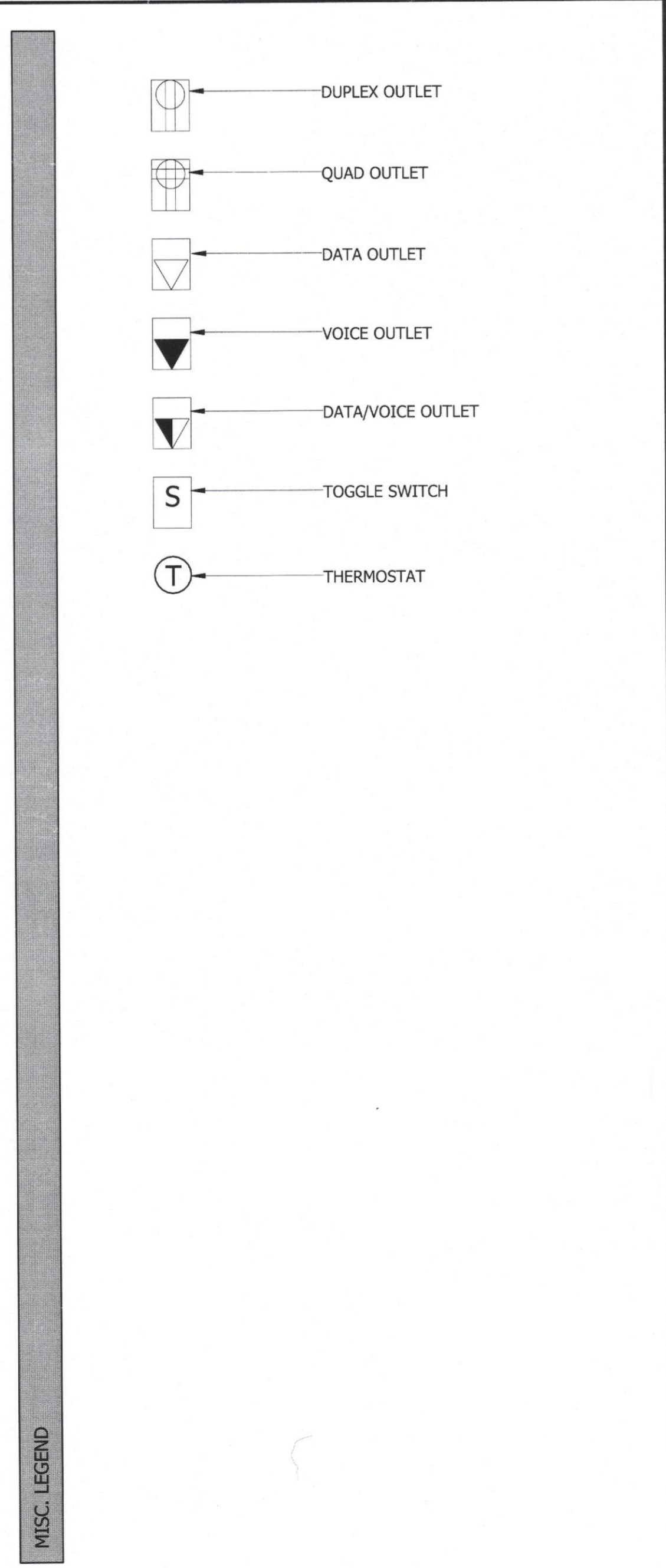
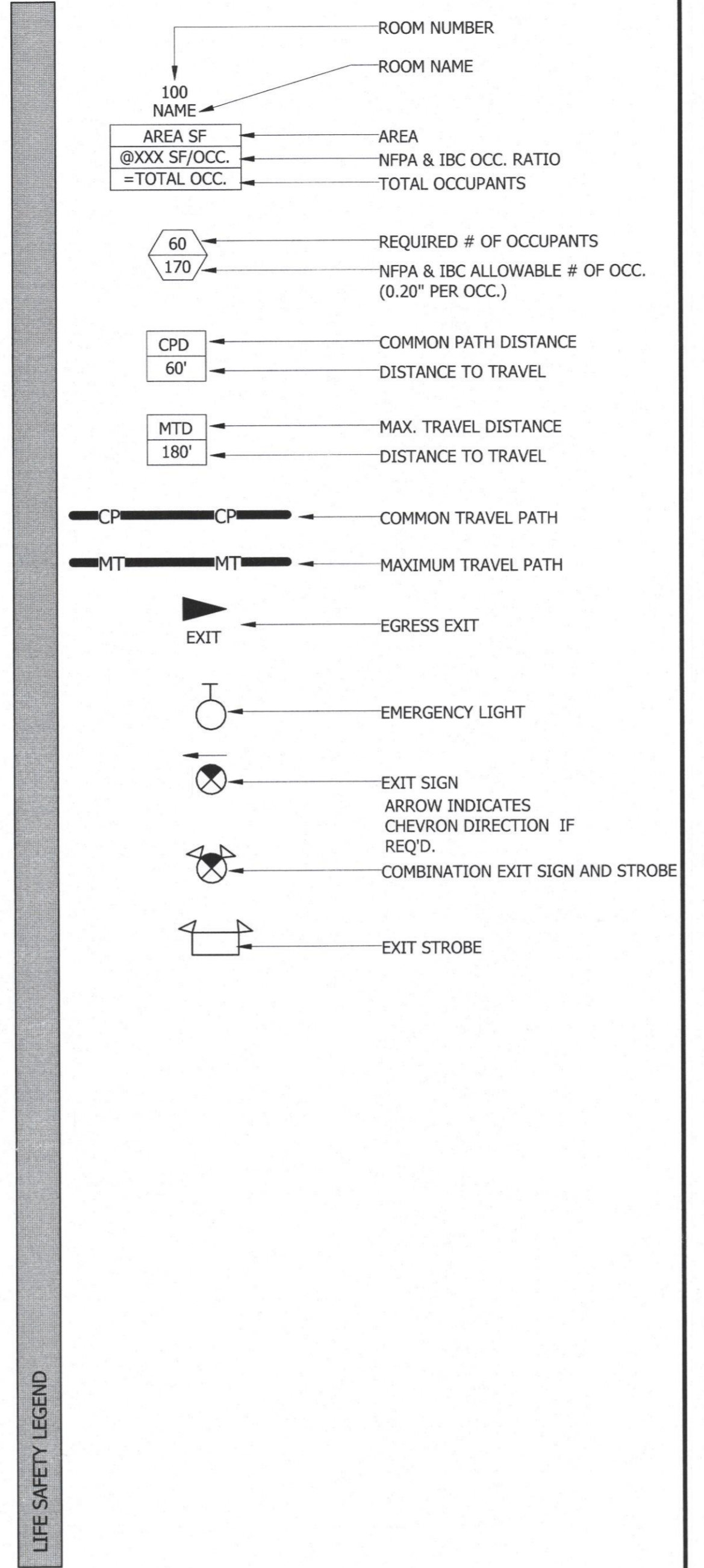
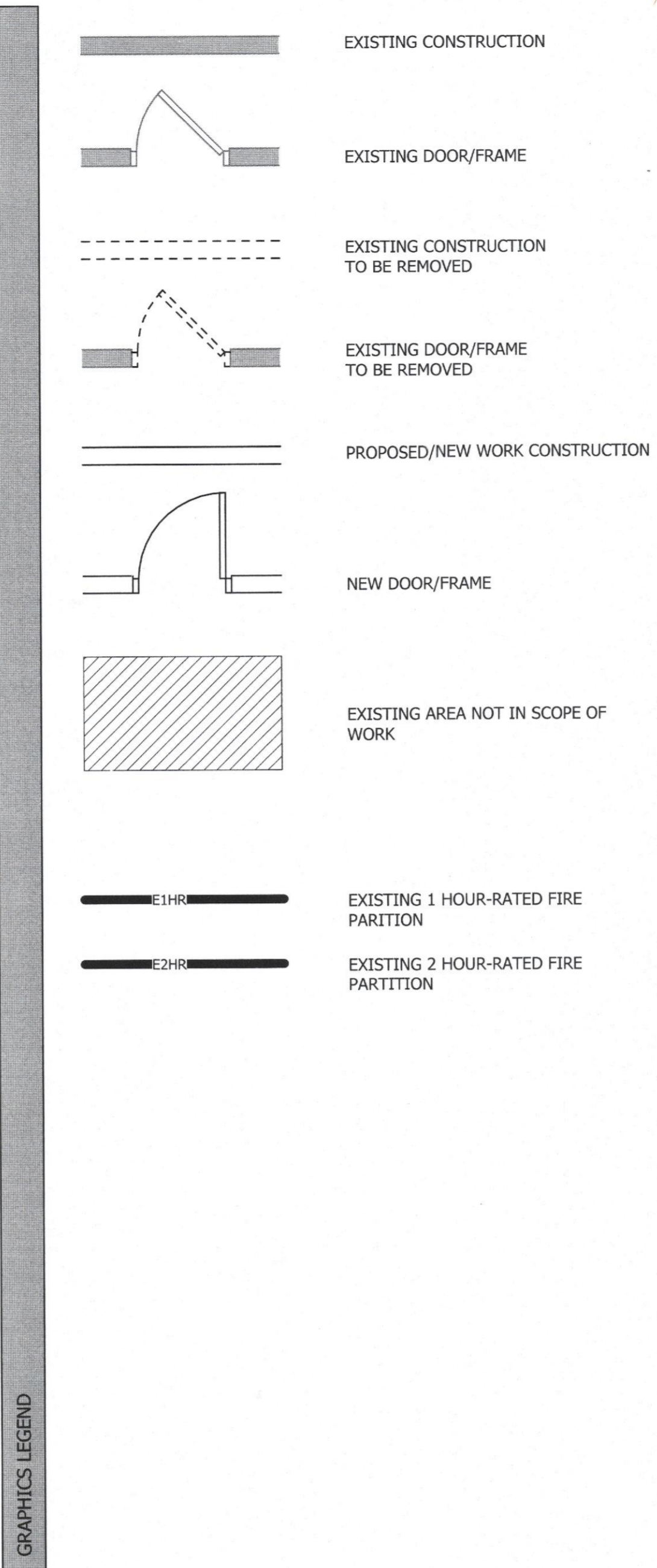
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CONSTRUCTION	
PROJECT NO	16040
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DESIGNED	HRS
CHECKED	

COVER SHEET
G001

ABBREVIATIONS table listing various construction terms and their corresponding abbreviations, such as ABV ABOVE, ACT ACUSTIC CEILING TILE, etc.



DEMOLITION NOTES: 1. THE DEMOLITION PLAN IS GENERAL IN NATURE AND INDICATES APPROXIMATE EXISTING CONDITIONS AT THE PROJECT SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR A FIELD SURVEY IN REGARDS TO QUANTITIES, DIMENSIONS AND CONFORMANCE TO CODE.

CONSTRUCTION NOTES: 1. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.

CONSTRUCTION PHASING NOTES: 1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PHASING PLANS, IF APPLICABLE, FOR OVERALL INTENT OF CONSTRUCTION SEQUENCING AND GENERAL LIMITS OF SCOPE OF WORK.

LIFE SAFETY & FIRE PROTECTION NOTES: 1. ALL FIRE EXTINGUISHERS TO BE FIVE (5) POUNDS, MOUNTED 48" AFF TO TOP OF HANDLE, LOCATED WITHIN A TRAVEL DISTANCE NOT TO EXCEED 75'-0" AND CURRENTLY TAGGED BY A LICENSED FIRE EQUIPMENT COMPANY.

DOOR AND FRAME NOTES: 1. ALL DOORS AND FRAMES SHALL BE PAINT GRADE FINISH, UNLESS NOTED OTHERWISE. CONTRACTOR SHALL PAINT ALL DOORS AND FRAMES WITH ONE (1) COAT PRIMER AND TWO (2) COATS FINISH.

GENERAL NOTES: 1. ALL INTERIOR FINISHES AND/OR FINISH MATERIALS SHALL BE DESIGNATED "CLASS A" PER ASTM E84, IF POSSIBLE. CONSULT AHJ FOR EXACT REQUIREMENTS.

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MOFFATT & NICHOL TENANT FIT-OUT 2780 LIGHTHOUSE POINT E, SECOND FLOOR BALTIMORE, MARYLAND 21224

REVISIONS table with columns for DATE and DESCRIPTION.

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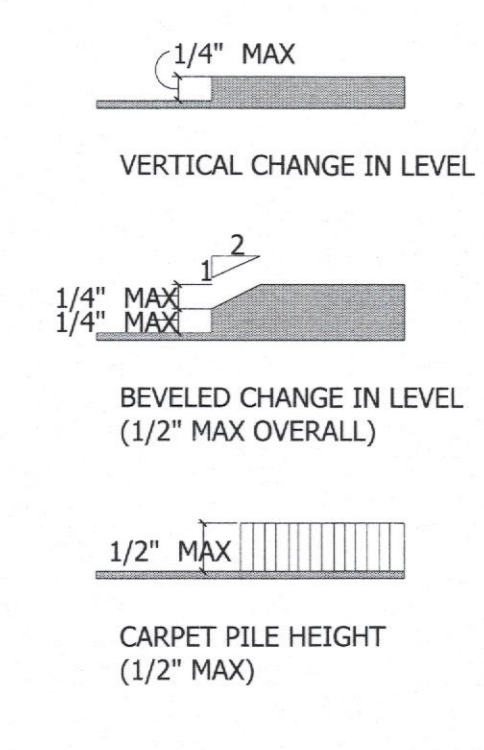
License Number: 12683 Expiration Date: 12/22/16

PROJECT NO 16040, PRELIMINARY BIDDING CONSTRUCTION, DRAWN MML, DESIGNED MML, CHECKED HRS.

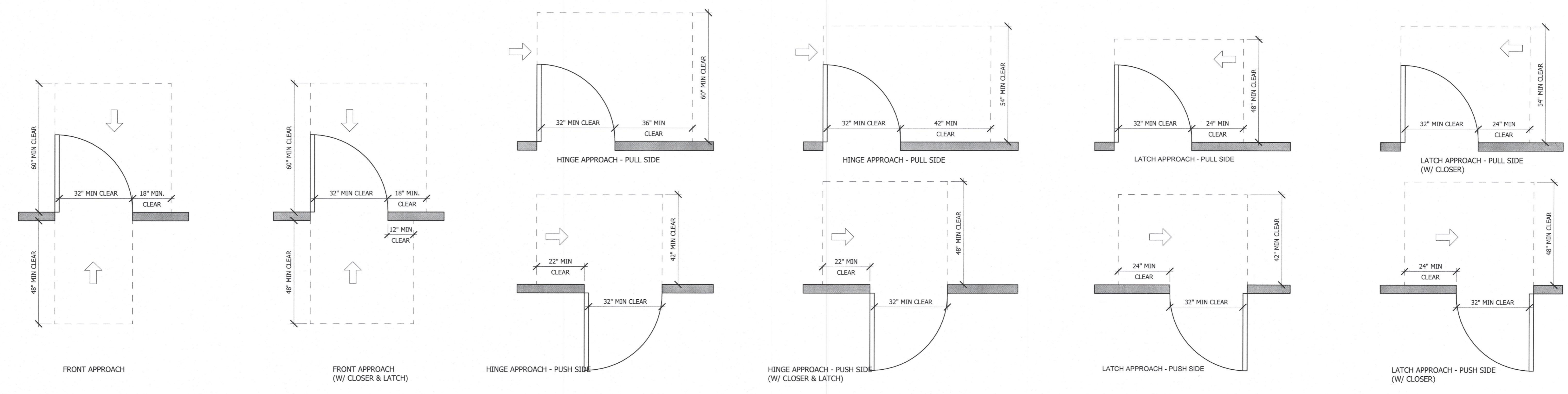
GENERAL NOTES G002

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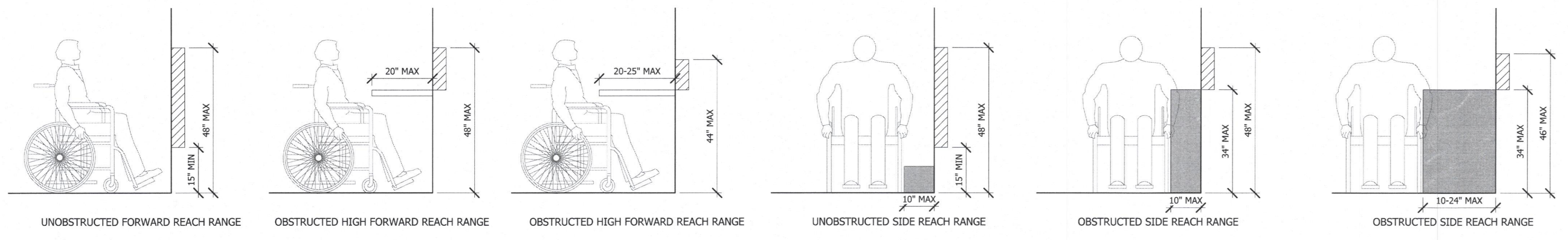
ACCESSIBLE THRESHOLD PER 2010 ADAAG SECTION 302.303



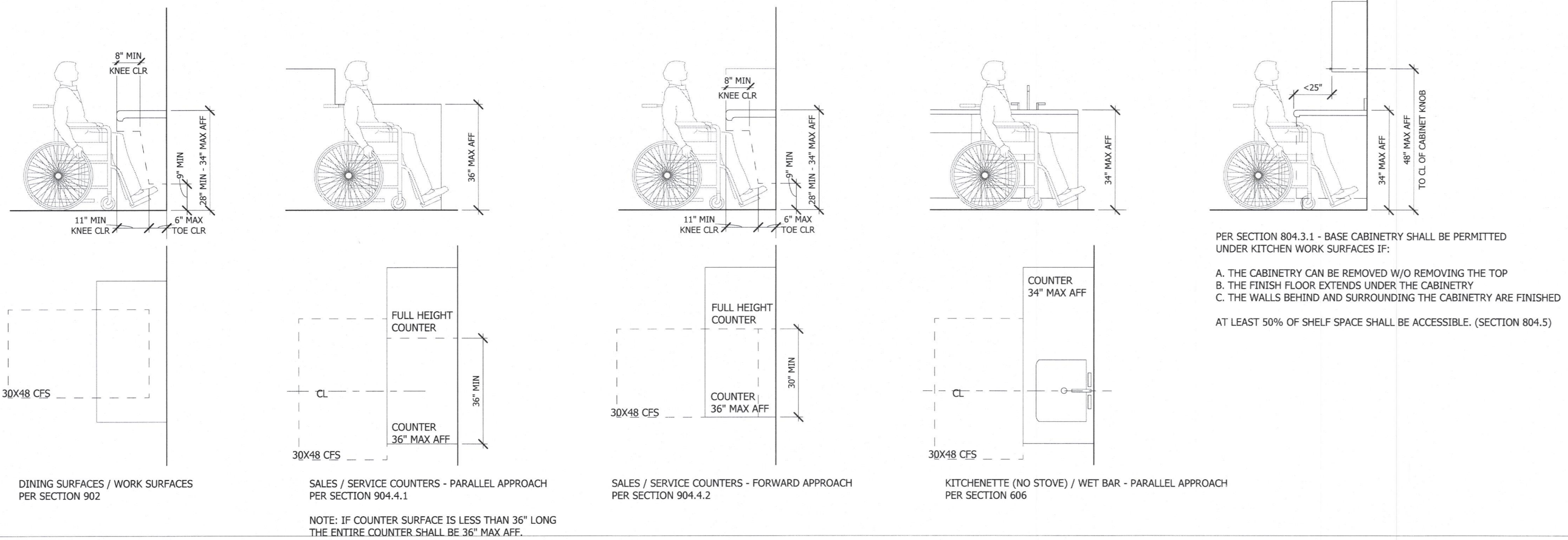
ACCESSIBLE DOOR CLEARANCES PER 2010 ADAAG SECTION 404



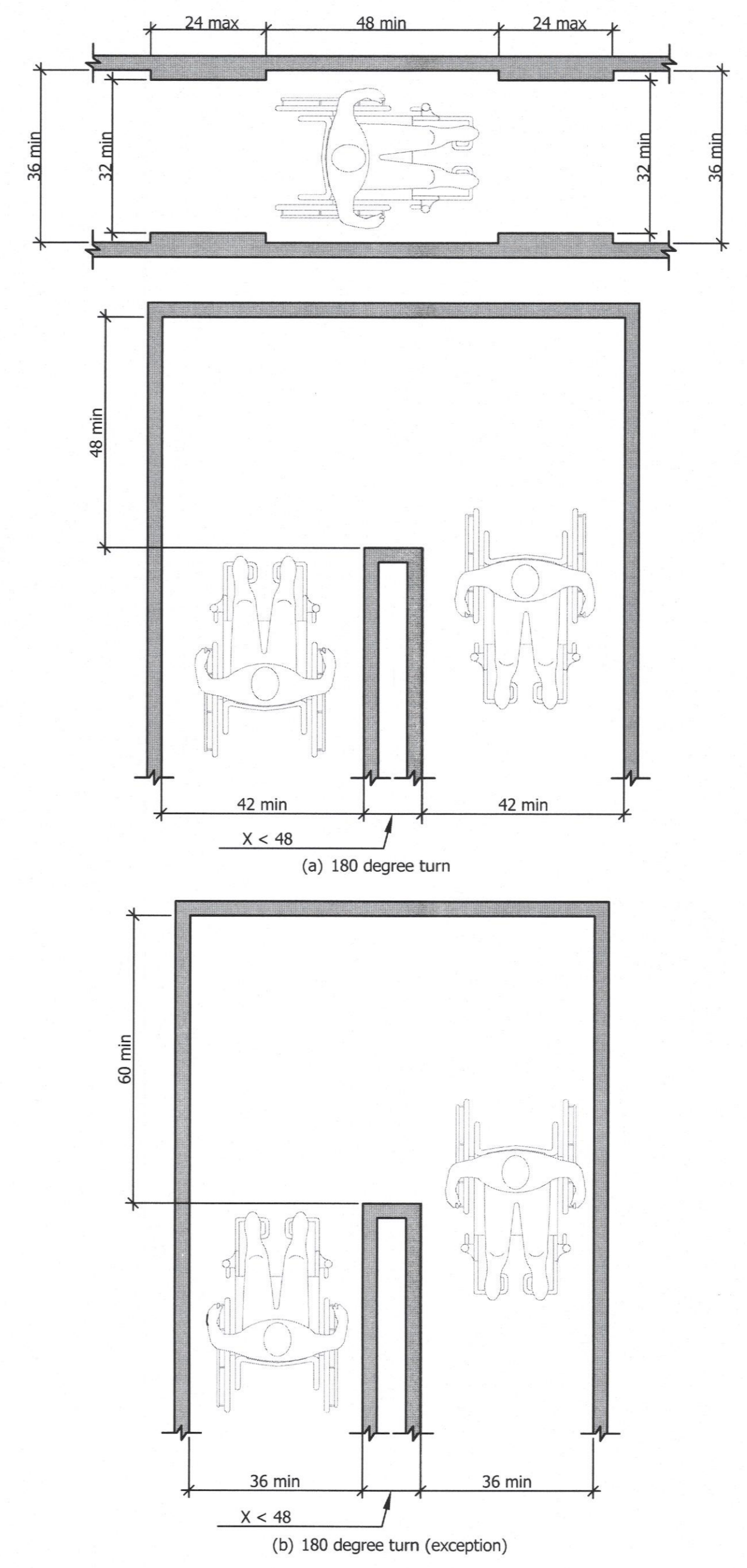
ACCESSIBLE REACH RANGES PER 2010 ADAAG SECTION 308



ACCESSIBLE COUNTERTOPS / CABINETS PER 2010 ADAAG



ACCESSIBLE ROUTE REQUIRED CLEARANCES PER 2010 ADAAG SECTION 403



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NO.	DATE	DESCRIPTION

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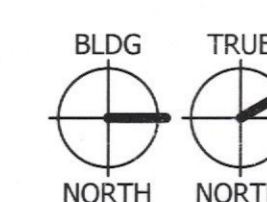
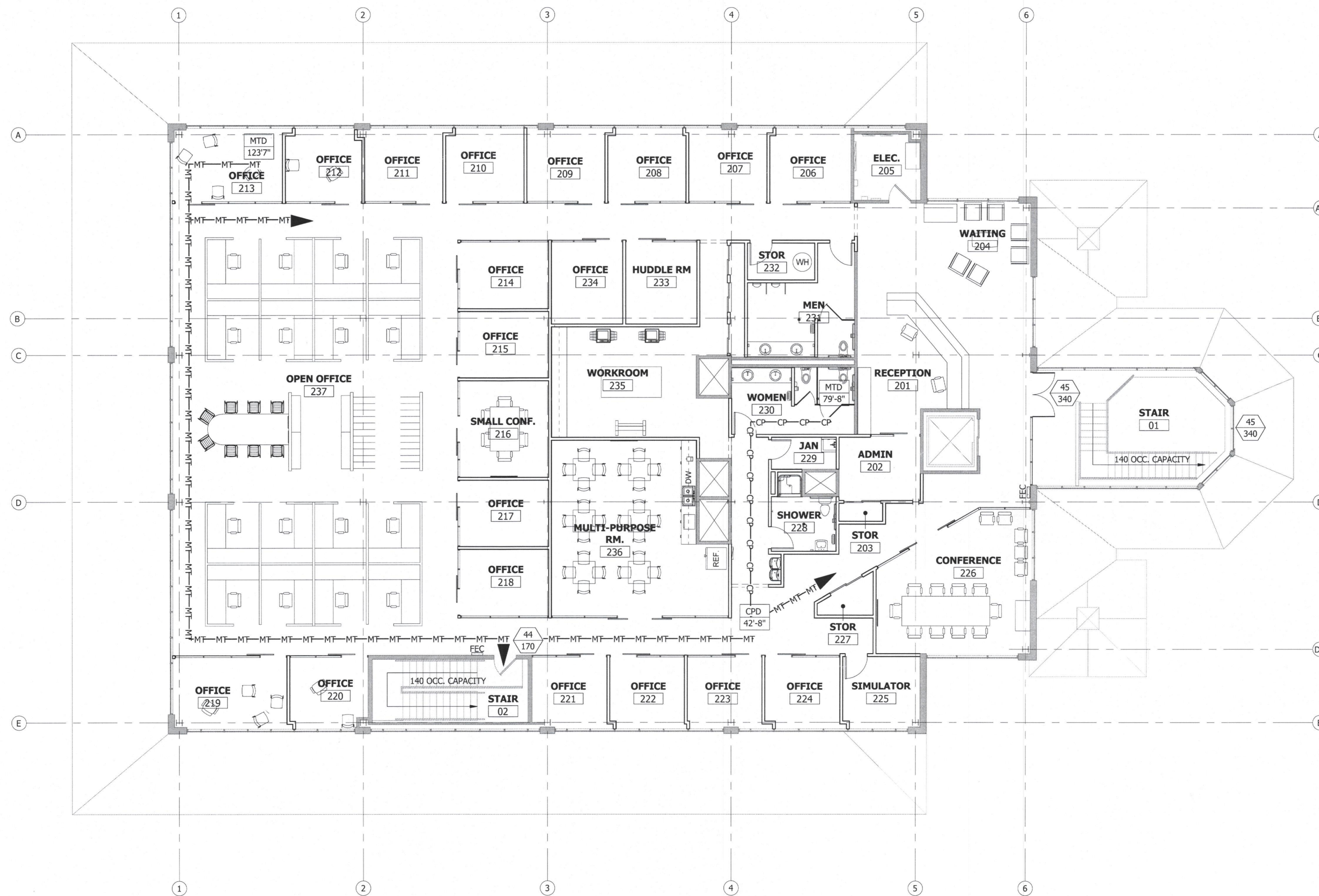
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 DRAWN: MML
 DESIGNED: MML
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TYPICAL ADA REQUIREMENTS

G003

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1/8" = 1'-0"

A1 LIFE SAFETY AND EGRESS PLAN

A16 CODE REVIEW

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BALTIMORE, MARYLAND 21224

REVISIONS	DATE	DESCRIPTION

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PRELIMINARY
PERMITS
BIDDING
CONSTRUCTION

PROJECT NO 16040
DRAWN MML
DESIGNED MML
CHECKED HRS

LIFE SAFETY PLAN

A001

IBC 2015 MEANS OF EGRESS

SECTION 1006 NUMBER OF EXITS AND EXIT ACCESS DOORWAYS
TABLE 1006.2.1
MAX. COMMON PATH TRAVEL DISTANCE = 100' (WITH SPRINKLER SYSTEM)

SECTION 1017 EXIT ACCESS TRAVEL DISTANCE
TABLE 1017.2
MAX. EXIT ACCESS TRAVEL DISTANCE = 300' (WITH SPRINKLER SYSTEM)

EGRESS WIDTH

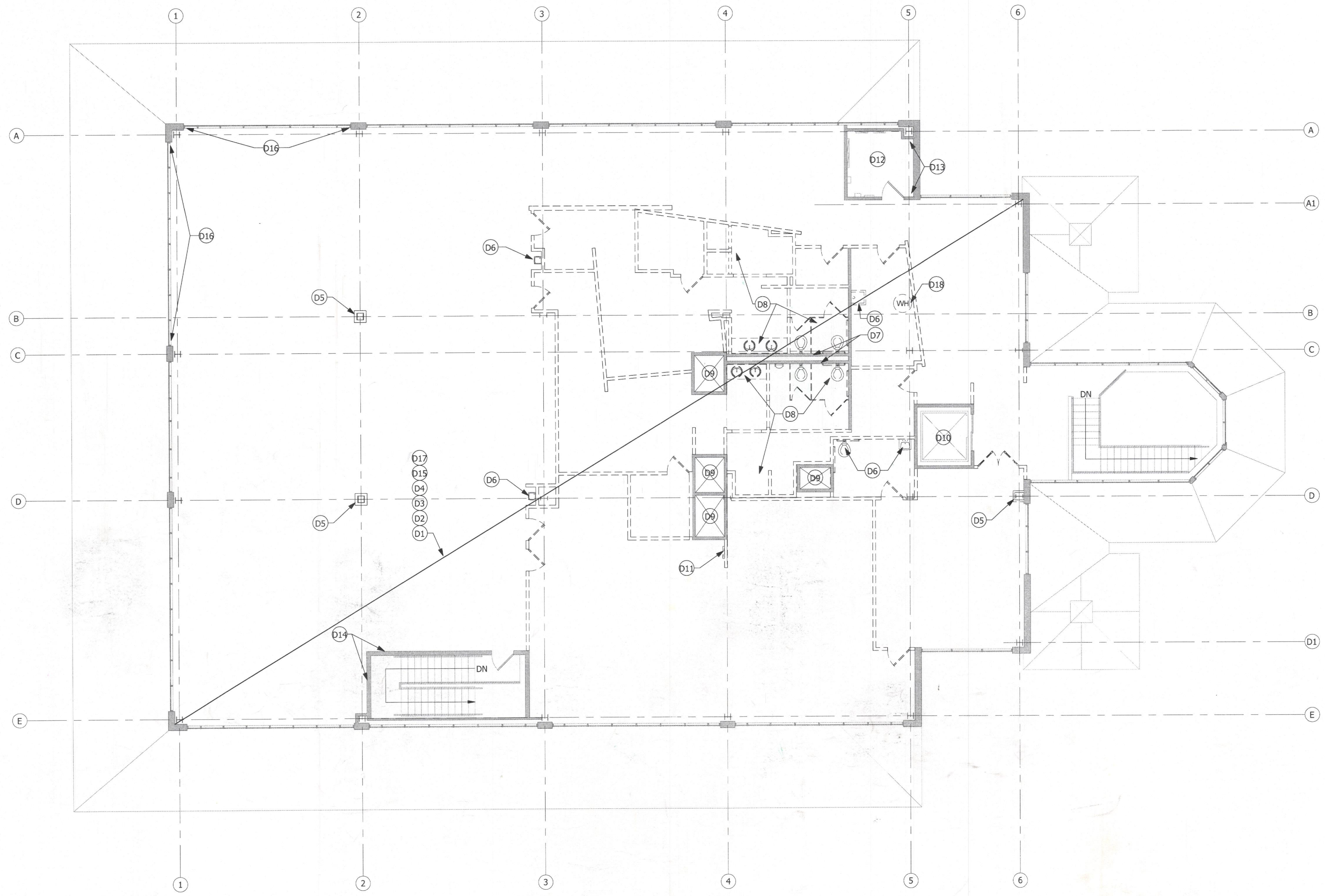
1. THE EGRESS CAPACITY OF 36" DOORS HAVE BEEN CALCULATED USING 34" AS AN ACTUAL CLEAR WIDTH. 34"/0.20" = 170 PERSONS

2. THE EGRESS CAPACITY OF 72" DOORS HAVE BEEN CALCULATED USING 60" AS AN ACTUAL CLEAR WIDTH. 70"/0.20" = 340 PERSONS

3. THE EGRESS CAPACITY OF STAIRS HAVE BEEN CALCULATED AS 0.3" PER PERSON.

4. ALL OF THE ABOVE CALCULATIONS ARE BASED ON SECTION 1005 (IBC 2015) & TABLE 7.3.3.1 (NFPA 101, 2015).

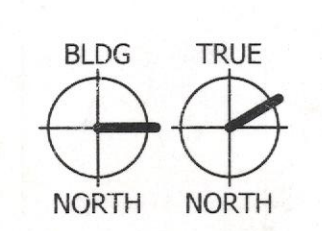
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1. OVERVIEW:
- A. WORK POLICY: ESTABLISH WORK POLICY WITH OWNER ON WORK HOURS, ACCESS, SECURITY, NOISE, DUST AND SPECIAL CONSIDERATION FOR OTHER TENANTS.
 - B. EXISTING CONDITIONS: FIELD VERIFY EXISTING CONDITIONS PRIOR TO START OF DEMOLITION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS BEFORE PROCEEDING WITH WORK.
 - C. PRIOR TO WORK: OWNER AND CONTRACTOR TO CONFIRM FURNITURE, WINDOW TREATMENTS, AND ACCESSORIES HAVE BEEN REMOVED AND AREA IS READY FOR WORK. ITEMS TO REMAIN ARE TO BE PROTECTED. ITEMS TO BE RETURNED TO OWNER ARE TO BE IDENTIFIED AND PROPERLY DOCUMENTED.
 - D. SCOPE OF DEMOLITION: SCOPE OF DEMOLITION VARIES FOR EACH AREA IDENTIFIED ON PLAN. SEE NOTES FOR EXTENT OF WORK.
 - E. HAZARDOUS MATERIALS: IN THE EVENT THAT DURING THE WORK UNDER THIS CONTRACT ANY MATERIAL DISCOVERED WHICH CAN REASONABLY BE SUSPECTED OF CONTAINING ASBESTOS, LEAD PAINT OR OTHER HAZARDOUS MATERIALS WORK IN THAT AREA SHALL IMMEDIATELY BE STOPPED AND THE OWNER BE NOTIFIED.
 - F. PROTECT EXISTING CONSTRUCTION: PREVENT DAMAGE TO EXISTING WORK TO REMAIN. REPAIR DAMAGE CAUSED BY WORK UNDER THIS CONTRACT TO EXISTING CONDITIONS.
 - G. PROTECT EXISTING EQUIPMENT: CONTRACTOR TO PROTECT EQUIPMENT TO REMAIN. OWNER AND CONTRACTOR TO INSPECT EQUIPMENT PRIOR TO WORK AND IDENTIFY PRE-EXISTING CONDITIONS.
2. ITEMS TO BE REMOVED:
- A. GENERAL: WHERE ITEMS ARE IDENTIFIED TO BE REMOVED THIS INCLUDES THE REMOVAL OF ITS WIRING, SUPPORTS, PIPING, DUCTS, ADHESIVE, SEALANTS ETC UNLESS OTHERWISE NOTED.
 - B. SURROUNDING SURFACES AROUND ITEMS REMOVED: WHERE AREAS AND/OR ITEMS ARE IDENTIFIED TO BE REMOVED, THE SURFACES SURROUNDING THESE ITEMS ARE TO BE PREPARED FOR NEW CONSTRUCTION/FINISH.
 - C. FLOOR: WHEN FLOORING FINISH IS INDICATED TO BE REMOVED THIS INCLUDES, ADHESIVES ETC. AND FLOOR SUBSTRATE IS TO BE CLEAN AND CLEAR TO ACCEPT NEW FLOOR FINISH.
 - D. WALLS:
 - 1. WHEN CUTTING OPENINGS OR REMOVING A PORTION OF A WALL IN ITS ENTIRETY, ASSUME THE WALL IS STRUCTURAL AND TAKE NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE BUILDING AND BUILDING OCCUPANTS DURING DEMOLITION. COORDINATE LOCATION AND SIZE OF OPENINGS WITH CONSTRUCTION DOCUMENTS.
 - 2. WHERE WALLS ARE INDICATED TO BE COMPLETELY REMOVED, REMOVE EVERYTHING IN AND ON THE WALL E.G. ELECTRICAL, PIPING (CAP), DOOR AND FRAME, ETC COMPLETE FROM FLOOR TO FLOOR STRUCTURE ABOVE UNLESS OTHERWISE INDICATED. TERMINATE BUILDING SYSTEMS OR REROUTE AS NECESSARY TO PROVIDE A COMPLETE OPERATING SYSTEM.
 - E. CEILING: WHERE CEILINGS ARE INDICATED TO BE COMPLETELY REMOVED, REMOVE EVERYTHING ASSOCIATED WITH CEILING INCLUDING SURFACE, FRAME SUPPORTS, LIGHTING, REGISTERS, SMOKE DETECTORS, EXIT LIGHTS ETC. UNLESS OTHERWISE INDICATED.
 - F. FINISHES: DEMOLITION OF FINISHES INCLUDES REMOVAL OF ADHESIVES, GROUTING BEDS, ETC. AND REQUIRES REMAINING SURFACES TO BE PREPARED FOR NEW CONSTRUCTION.
 - G. SIGNAGE: G.C. TO REMOVE ALL EXISTING INTERIOR SIGNS. PATCH AND PAINT EXIST. WALLS TO REMAIN. COORDINATE NEW SIGN LOCATIONS WITH OWNER.
3. ITEMS TO REMAIN:
- A. PROTECT EXISTING ITEMS AND EQUIPMENT: CONTRACTOR TO PROTECT ITEMS AND EQUIPMENT PRIOR TO WORK AND IDENTIFY PRE-EXISTING CONDITIONS.
 - B. WALLS AND GYPSUM BOARD CEILINGS: WALLS AND CEILINGS TO REMAIN ARE TO BE SMOOTH WITHOUT IMPERFECTIONS AND IN A CONDITION READY FOR NEW FINISH.
 - C. FLOOR: FLOORS SHALL BE LEFT SMOOTH, LEVEL, FREE OF MASTIC AND READY FOR INSTALLATION OF NEW FLOORING FINISHES.
 - D. CEILING: GYPSUM BOARD CEILINGS ARE TO BE SMOOTH WITHOUT IMPERFECTIONS AND IN A CONDITION READY FOR A NEW FINISH. ACT CEILINGS ARE TO BE CLEAN, LEVEL WITH MATCHING ACT PANELS AND WITHOUT IMPERFECTIONS.
4. SALVAGED AND REUSED ITEMS:
- A. OWNER AND CONTRACTOR TO ESTABLISH A STORAGE LOCATION AND PROTOCOL FOR ITEMS TO BE SALVAGED AND REUSED IN PROJECT. CONTRACTOR TO REUSE SALVAGED ITEMS IN GOOD CONDITION AND INSPECTED BY OWNER AND ARCHITECT PRIOR TO REMOVAL AND BEFORE INSTALLATION. OWNER AND CONTRACTOR TO WALK RENOVATED AREA AND CONFIRM ITEMS TO BE SALVAGED.

G16 GENERAL NOTES

- D1 DEMO INTERIOR PARTITIONS AND DOORS AS INDICATED. ALL ELECTRICAL WIRING AND LOW VOLTAGE CABLING TO BE REMOVED BACK TO SOURCE. UNLESS NOTED OTHERWISE.
- D2 DEMO ALL FLOORING INCLUDING MASTIC RESIDUE. PREP SUBFLOOR FOR NEW FINISHES.
- D3 DEMO ALL CEILINGS THROUGHOUT.
- D4 DEMO ALL LIGHT FIXTURES IN CEILINGS TO BE REMOVED. ALL EFFECTED CIRCUITS TO BE REMOVED BACK TO ELECTRICAL PANEL. SALVAGE LINEAR PENDANT LIGHTS IN OPEN AREA FOR POTENTIAL REUSE. SALVAGE EXISTING CEILING FANS FOR POTENTIAL REUSE. COORD. WITH ELECTRICAL DRAWINGS.
- D5 DEMO ALL FURRING AROUND EXISTING COLUMN. REMOVE ALL ABANDONED ELECTRICAL/LOW VOLTAGE WIRING. RELOCATE ALL FIRE ALARM/SECURITY DEVICES. COORD. FINAL LOCATION IN THE FIELD. ENSURE EXPOSED STEEL COLUMN IS FREE OF ALL DEBRIS AND PREP FOR NEW PAINT.
- D6 DEMO EXISTING PLUMBING FIXTURES AND ALL ASSOCIATED PIPING.
- D7 EXISTING PLUMBING WALL TO REMAIN, COORD. WITH NEW WORK.
- D8 DEMO ALL PLUMBING FIXTURES INCLUDING ALL MILLWORK, TOILET PARTITIONS AND ACCESSORIES. CAP ALL PLUMBING INSIDE EXISTING PLUMBING WALL AND COORD. WITH NEW WORK PLANS.
- D9 EXISTING MECHANICAL CHASE TO REMAIN. COORD. WITH MEP DRAWINGS.
- D10 EXISTING ELEVATOR TO REMAIN. CONTRACTOR TO PROVIDE PROTECTION PRIOR TO START OF CONSTRUCTION.
- D11 EXISTING ELECTRICAL PANEL TO BE RELOCATED. COORD. WITH ELECTRICAL DRAWINGS.
- D12 EXISTING ELECTRICAL ROOM TO REMAIN. COORDINATE WITH ELECTRICAL DRAWINGS ON EXTENT OF NEW WORK.
- D13 DEMO ALL IT EQUIPMENT AND CABLING FROM PREVIOUS TENANT. PLYWOOD TO REMAIN ON WALL.
- D14 DEMO EXISTING MIRRORS INCLUDING ALL HANGING CLIPS AND/OR MASTIC. PREP EXISTING DRYWALL UNDERNEATH FOR NEW PAINT.
- D15 REMOVE ALL ABANDONED EXERCISE EQUIPMENT INCLUDING ALL ITEMS SUSPENDED FROM THE STRUCTURE ABOVE.
- D16 REMOVE WINDOW FILM
- D17 REMOVE ALL WINDOW SHADES AND BRACKETS. PATCH AND REPAIR WHERE BRACKETS ARE REMOVED.
- D18 SALVAGE EXISTING WATER HEATER FOR REUSE



1/8" = 1'-0"

A1 DEMOLITION - FLOOR PLAN

A16 SHEET NOTES

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DATE	DESCRIPTION	REVISIONS

I hereby certify that these documents were prepared or approved by me, and that I am a duly Licensed Architect under the laws of the State of Maryland.

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Expiration Date: 12/22/16

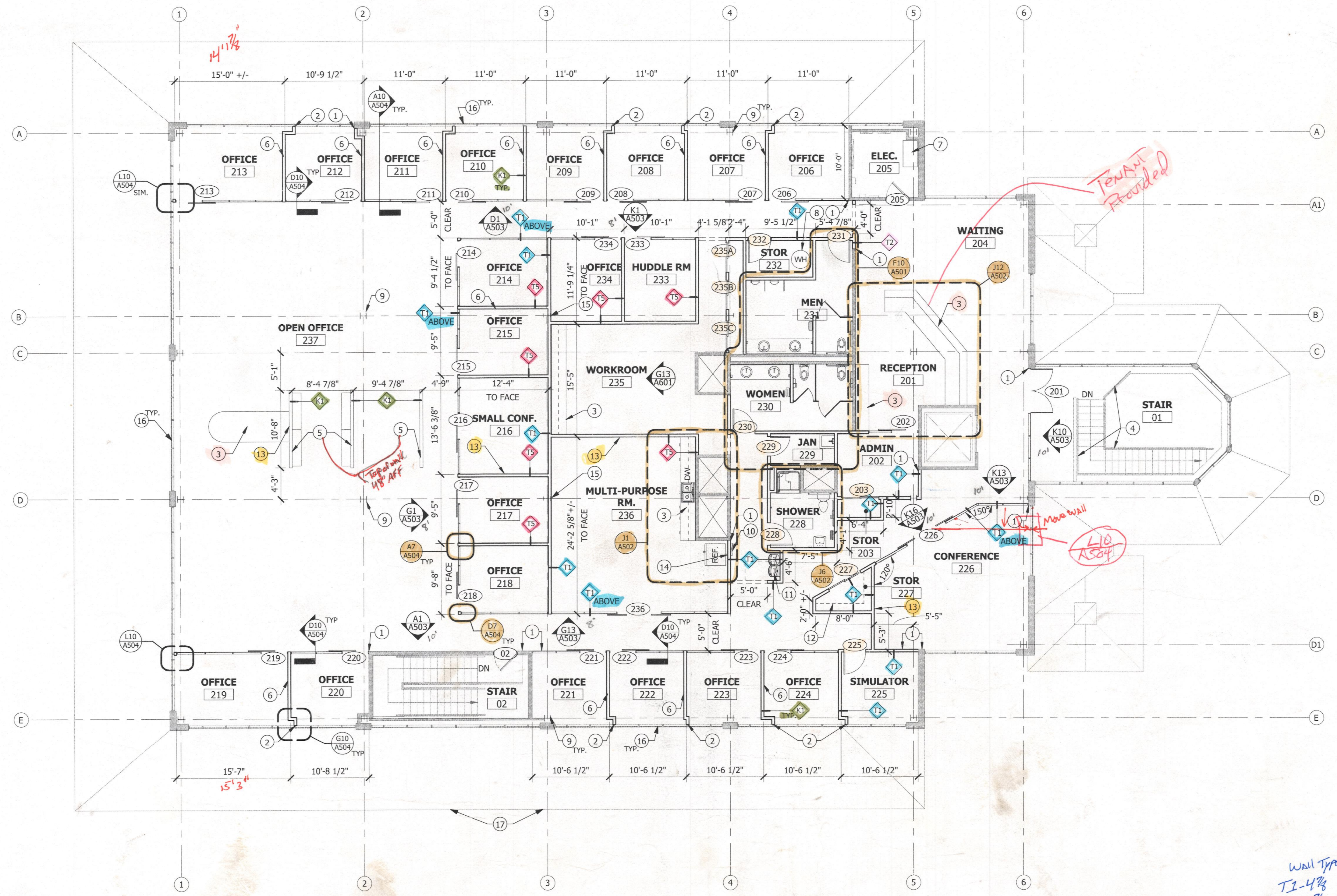
PRELIMINARY	06/24/16
PERMITS	
BIDDING	
CONSTRUCTION	

PROJECT NO	16040
DRAWN	MML
DESIGNED	MML
CHECKED	HRS

DEMOLITION PLAN

AD101

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- A. THE GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS. DEVIATIONS FROM THE CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ARCHITECT.
- B. CONTRACTORS SHALL TAKE ALL POSSIBLE PRECAUTIONS AGAINST DAMAGING ANY EXISTING CONSTRUCTION THAT IS TO REMAIN. THE CONTRACTOR AND OWNER ARE TO INSPECT AND DOCUMENT THE CONDITION PRIOR TO CONSTRUCTION. ANY DAMAGES CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE TO THE COMPLETE SATISFACTION OF THE OWNER.
- C. MATERIALS REMOVED BY THE DEMOLITION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER, AND IN COMPLIANCE WITH APPLICABLE BUILDING CODES AND REGULATIONS.
- D. REMAINING WALLS ARE TO BE SMOOTH WITHOUT IMPERFECTION AND IN A CONDITION READY FOR PAINT.
- E. DIMENSIONS ARE TO FACE OF WALL, UNLESS OTHERWISE NOTED.
- F. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- G. PROVIDE BLOCKING FOR ALL WALL-MOUNTED EQUIPMENT, APPLIANCES, CASEWORK, COUNTERTOPS, ACCESSORIES, ETC. COORDINATE WITH OWNER FOR REQUIREMENTS OF OWNER SUPPLIED MATERIALS.
- H. LOCATE DOORS 4" FROM ADJOINING WALL, UNLESS OTHERWISE NOTED.
- I. COORDINATE ALL ELECTRICAL ROUGH-IN FOR OWNER SUPPLIED EQUIPMENT WITH OWNER AND MANUFACTURER.
- J. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AS SHOWN, U.N.O.
- K. DO NOT SCALE DRAWINGS
- L. ELECTRIC AND DATA LOCATIONS ARE TO BE COORDINATED WITH OWNER BEFORE CONSTRUCTION.
- M. ALL BLOCKING TO BE 3/4" MIN. THK FRT PLYWOOD, INSTALLED IN-WALL - U.N.O.

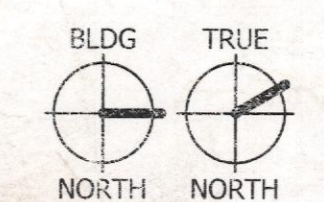
K16 GENERAL NOTES

*1/2 change order - shades have been changed to manual
1/4 ceiling heights 214 thru 218 are 8'2" Email from WJ*

Item	Description	Date Sent	Response Date	Response
1	Shades and blinds were damaged in existing job	10/29/2016	11/15/2016	Provide schedule to show how long it will take to replace shades and blinds
2	Shed walls have gaps, noise, water damage throughout	10/29/2016	11/15/2016	Shed walls to be replaced with 2x4 studs and 1/2" gypsum board
3	Shading blocking from roof deck and metal damage	10/29/2016	11/15/2016	The new shading blocking can be 2x4 with 1/2" gypsum board
4	Water in the shed roof ready to be replaced	10/29/2016	11/15/2016	Water in shed roof to be replaced with 2x4 studs and 1/2" gypsum board
5	Water and pipes are set up on proposed conference room layout	10/29/2016	11/15/2016	Water and pipes are set up on proposed conference room layout
6	Columns B1 & B2 have existing mechanical piping thru them	10/29/2016	11/15/2016	Columns B1 & B2 have existing mechanical piping thru them
7	Plasterer confirms that holes on the site	10/29/2016	11/15/2016	Plasterer confirms that holes on the site
8	20000 Existing finish floor	11/02/2016	11/15/2016	20000 Existing finish floor
9	Shed Wall Strip	11/02/2016	11/15/2016	Shed wall strip to be replaced with 2x4 studs and 1/2" gypsum board
10	Water level inside the shed roof ready to be replaced	11/02/2016	11/15/2016	Water level inside the shed roof ready to be replaced
11	Pressure recording heights for 2x12 Wood Blocking	11/02/2016	11/15/2016	Pressure recording heights for 2x12 Wood Blocking
12	Provide a sample showing Method Blue for metalizing	11/02/2016	11/22/2016	Provide a sample showing Method Blue for metalizing
13	1/4" fire rated gypsum board for 2x12	11/02/2016	11/22/2016	1/4" fire rated gypsum board for 2x12
14	Shade removed for 2x12 to not on above	11/02/2016	11/22/2016	Shade removed for 2x12 to not on above
15	1/4" fire rated gypsum board for 2x12	11/02/2016	11/22/2016	1/4" fire rated gypsum board for 2x12
16	1/4" fire rated gypsum board for 2x12	11/02/2016	11/22/2016	1/4" fire rated gypsum board for 2x12
17	Existing gas line does not have sufficient hanger support	11/02/2016	11/22/2016	Existing gas line does not have sufficient hanger support
18	The PVC is acceptable for the Water based epoxy	11/02/2016	11/22/2016	The PVC is acceptable for the Water based epoxy
19	Shed wall with water infiltration at glass storefront system	11/02/2016	11/22/2016	Shed wall with water infiltration at glass storefront system
20	Can we install a new door on the shed	11/02/2016	11/22/2016	Can we install a new door on the shed
21	Light fixtures are missing components	11/02/2016	11/22/2016	Light fixtures are missing components

*Wall Types
T1 - 4 1/8"
T2 - 4 1/8" - Form Backer at structure
T3 - 4 1/8" - Stud to Deck no insulation on ceiling
T4 - 4 1/8" - Stud to Deck Dry wall on outside
T5 - 4 1/8" - Stud to Deck Dry wall on outside
T6 - 4 1/8" - Stud to Deck Dry wall on outside*

Reception & open office provided by 8/4/2016 owner



- 1 ALIGN FACES
- 2 ALIGN CENTERLINES, SEE G10/A504
- 3 ARCHITECTURAL WOOD CASEWORK, SEE ENLARGED PLANS AND MILLWORK DETAILS.
- 4 PREP AND PAINT EXISTING METAL RAILING. COORD. COLOR WITH OWNER.
- 5 TOP OF LOW WALL TO BE 48" AFF. SEE K16/A504 FOR WALL CAP DETAIL.
- 6 TOP OF PARTITION WALL TO ALIGN WITH BULKHEAD ABOVE GLASS WALL SYSTEM. PROVIDE FINISHED GWB CAP WITH CORNER BEADS BOTH SIDES.
- 7 SERVER RACK LOCATION, COORD. WITH CLIENT'S IT DEPT.
- 8 RELOCATED EXISTING WATER HEATER, SEE PLUMBING DRAWINGS
- 9 PREP AND PAINT EXISTING METAL COLUMN, TYP.
- 10 RELOCATED ELECTRICAL PANEL, SEE ELECTRICAL
- 11 NEW DUAL HEIGHT WATER COOLER WITH BOTTLE FILLER, SEE PLUMBING
- 12 PROVIDE SHELF AND ROD
- 13 PROVIDE FRT PLYWOOD BLOCKING FOR WALL MOUNTED EQUIPMENT
- 14 NEW WATER LINE TO REFRIGERATOR FOR ICE MAKER, SEE PLUMBING
- 15 METAL STUD OF PARTITION TO ALIGN WITH FACE OF STRUCTURAL COLUMN. GWB TO BE CONTINUOUS.
- 16 SOLAR WINDOW FILM TO BE APPLIED TO GLASS ALONG ENTIRE FACADE
- 17 LINE OF ROOF BELOW

A1 NEW WORK - FLOOR PLAN

A16 SHEET NOTES

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DATE	DESCRIPTION

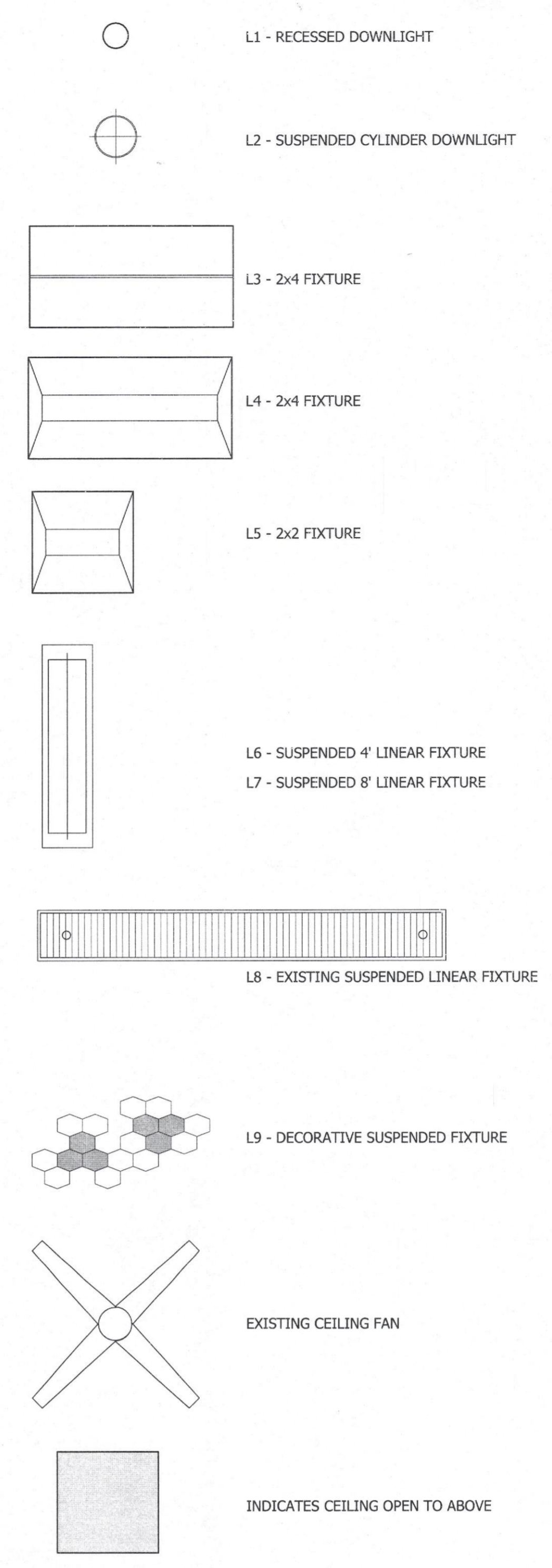
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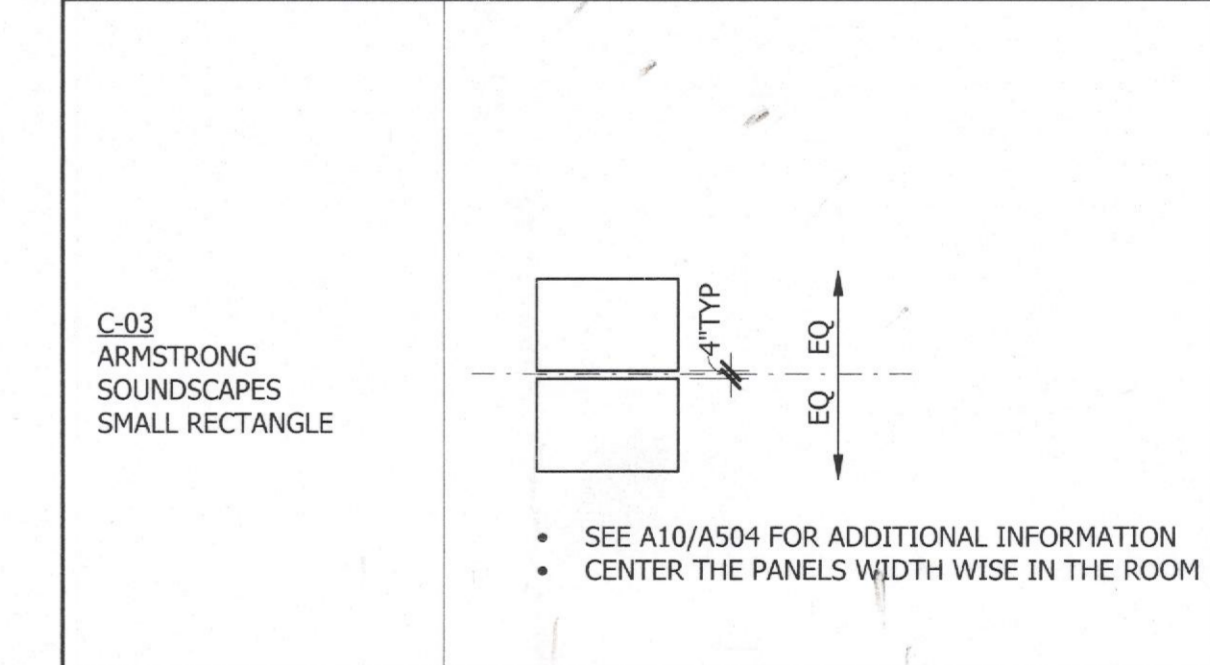
PRELIMINARY	06/09/16
PERMITS	
BIDDING	
CONSTRUCTION	
PROJECT NO	16040
DRAWN	MML
DESIGNED	MML
CHECKED	HRS

FLOOR PLAN
A101

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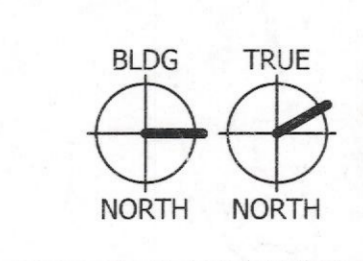


F16 RCP LEGEND



D16 ACOUSTIC CLOUD DETAILS

- 1 EXISTING CEILING AND LIGHT FIXTURES TO REMAIN.
- 2 ALIGN CENTERLINES
- 3 PTD GWB BULKHEAD
- 4 ACOUSTICAL CEILING TILE AND GRID, CENTERED IN SPACE UNO.
- 5 OPEN TO STRUCTURE ABOVE
- 6 **1/2" MANUAL** AUTOMATIC ROLLER SHADE MOUNTED TO FACE OF EXISTING WALL. FIELD VERIFY AT EACH LOCATION PRIOR TO ORDERING. BASIS OF DESIGN IS LUTRON - SIVOTA QS 100 WITH SQUARE FASCIA (WHITE) TYP. ALL WINDOWS U.N.O.
- 7 PTD GWB SOFFIT
- 8 MAINTAIN 1'-0" SPACING. SPACE PANELS EQUALLY ON EITHER SIDE OF COLUMN TO START THE LAYOUT.
- 9 EDGE OF HEXAGON TO BE 1'-0" OFF THE COLUMN LINE TO LOCATE THE CENTER PANELS. CONTINUE LAYOUT FROM THESE TILES.
- 11 ROLLER SHADE TO BE BLACKOUT MATERIAL
- 12 RELOCATED EXISTING CEILING FAN, COORD. WITH ELECTRICAL
- 13 LINEAR WALL MOUNTED WALL-WASHER, SEE A12/A502. COORD. WITH ELECTRICAL DRAWINGS.



1/8" = 1'-0"

A16 SHEET NOTES

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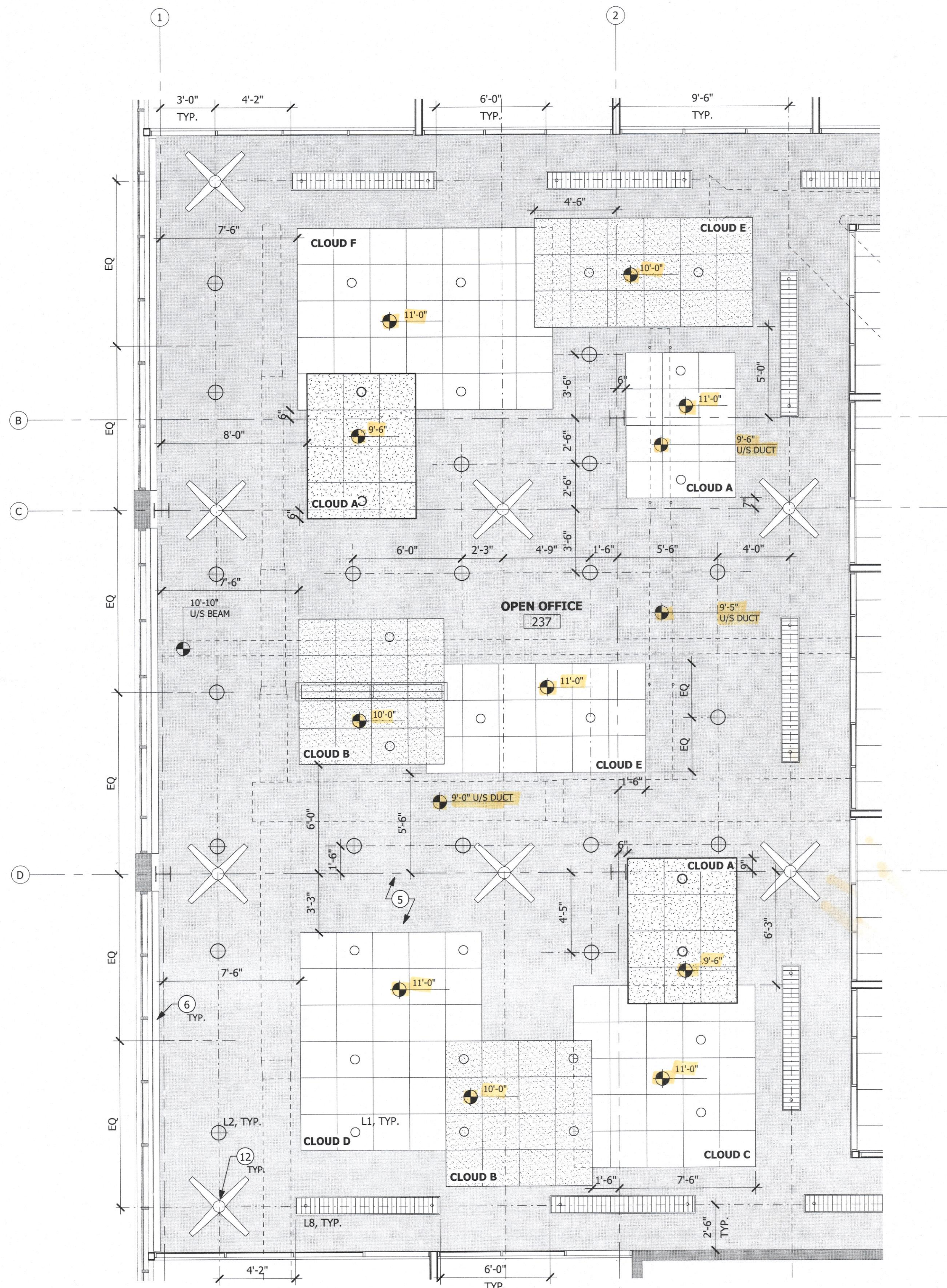
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CHECKED	HRS

REFLECTED CEILING PLAN

A102

A1 NEW WORK - REFLECTED CEILING PLAN

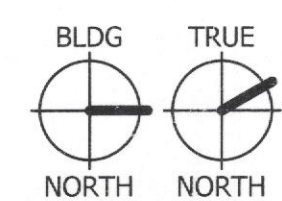
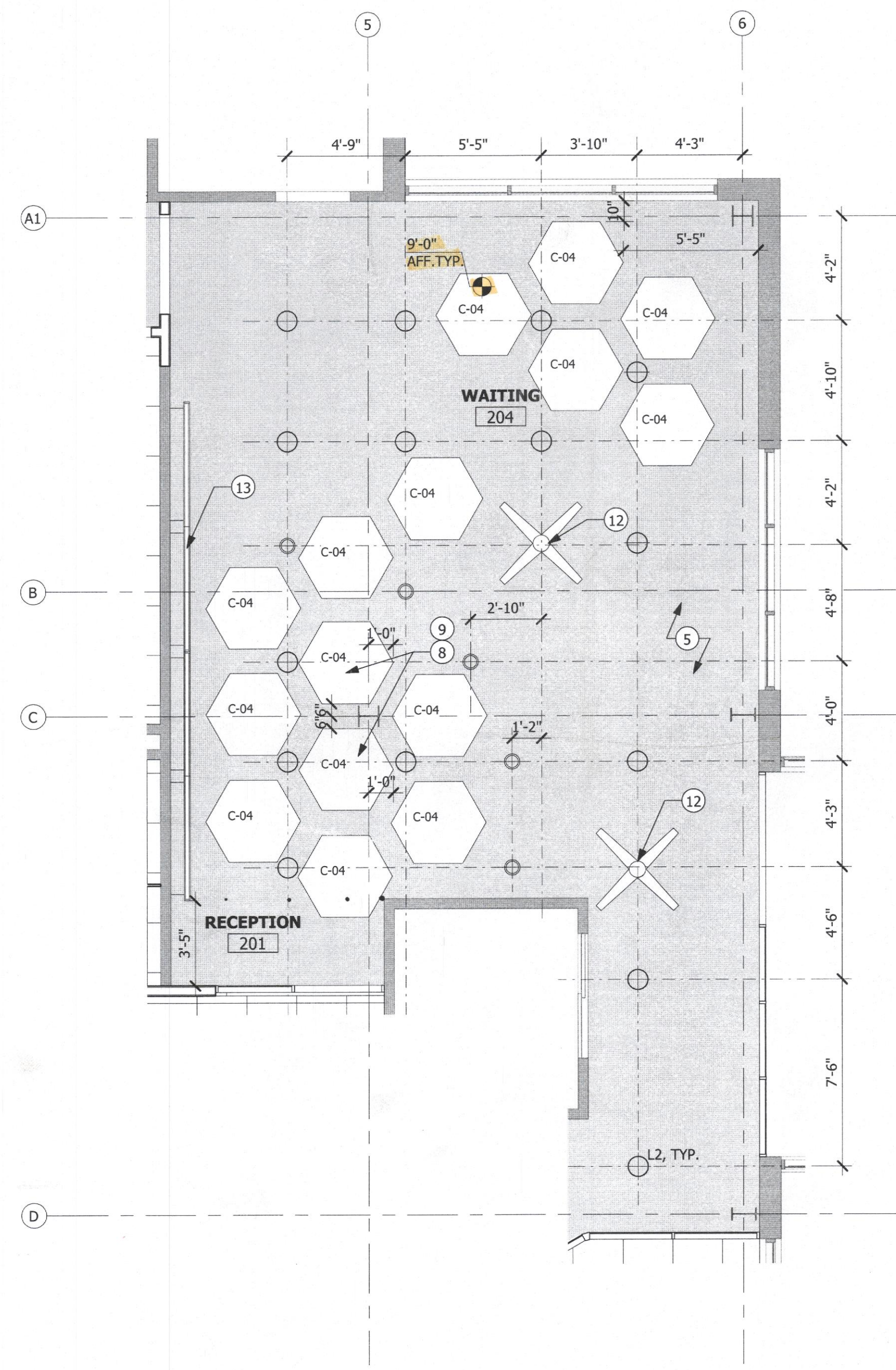
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A1 ENLARGED - REFLECTED CEILING PLAN

1/4" = 1'-0"

A10 ENLARGED - REFLECTED CEILING PLAN



1/4" = 1'-0"

A16 SHEET NOTES

- 1 EXISTING CEILING AND LIGHT FIXTURES TO REMAIN.
- 2 ALIGN CENTERLINES
- 3 PTD GWB BULKHEAD
- 4 ACOUSTICAL CEILING TILE AND GRID, CENTERED IN SPACE UNO.
- 5 OPEN TO STRUCTURE ABOVE
- 6 AUTOMATIC ROLLER SHADE MOUNTED TO FACE OF EXISTING WALL. FIELD VERIFY AT EACH LOCATION PRIOR TO ORDERING. BASIS OF DESIGN IS LUTRON - SIVOIA QS 100 WITH SQUARE FASCIA (WHITE) TYP. ALL WINDOWS U.N.O.
- 7 PTD GWB SOFFIT
- 8 MAINTAIN 1'-0" SPACING. SPACE PANELS EQUALLY ON EITHER SIDE OF COLUMN TO START THE LAYOUT.
- 9 EDGE OF HEXAGON TO BE 1'-0" OFF THE COLUMN LINE TO LOCATE THE CENTER PANELS. CONTINUE LAYOUT FROM THESE TILES.
- 11 ROLLER SHADE TO BE BLACKOUT MATERIAL
- 12 RELOCATED EXISTING CEILING FAN, COORD. WITH ELECTRICAL
- 13 LINEAR WALL MOUNTED WALL-WASHER, SEE A12/A502. COORD. WITH ELECTRICAL DRAWINGS.

G16 RCP LEGEND

- C-02 ARMSTRONG SUSPENDED CLOUDS
- CLOUD A = 6' X 8'
 - CLOUD B = 8' X 8'
 - CLOUD C = 10' X 10'
 - CLOUD D = 10' X 12'
 - CLOUD E = 12' X 6'
 - CLOUD F = 14' X 10'
- CLOUDS TO BE INSTALLED WITH 4" AXIOM TRIM W/ FACTORY CORNERS
- C-04 ARMSTRONG SOUNDSCAPES HEXAGON
- TYPICAL 1'-0" BETWEEN PANELS
 - PANELS TO HANG PARALLEL TO FLOOR
 - MOUNT PANELS 9'-0" AFF.

D16 ACOUSTIC CLOUD DETAILS

- L1 - RECESSED DOWNLIGHT
- L2 - SUSPENDED CYLINDER DOWNLIGHT
- L3 - 2x4 FIXTURE
- L4 - 2x4 FIXTURE
- L5 - 2x2 FIXTURE
- L6 - SUSPENDED 4' LINEAR FIXTURE
- L7 - SUSPENDED 8' LINEAR FIXTURE
- L8 - EXISTING SUSPENDED LINEAR FIXTURE
- L9 - DECORATIVE SUSPENDED FIXTURE
- EXISTING CEILING FAN
- INDICATES CEILING OPEN TO ABOVE

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NO.	DATE	DESCRIPTION	REVISIONS

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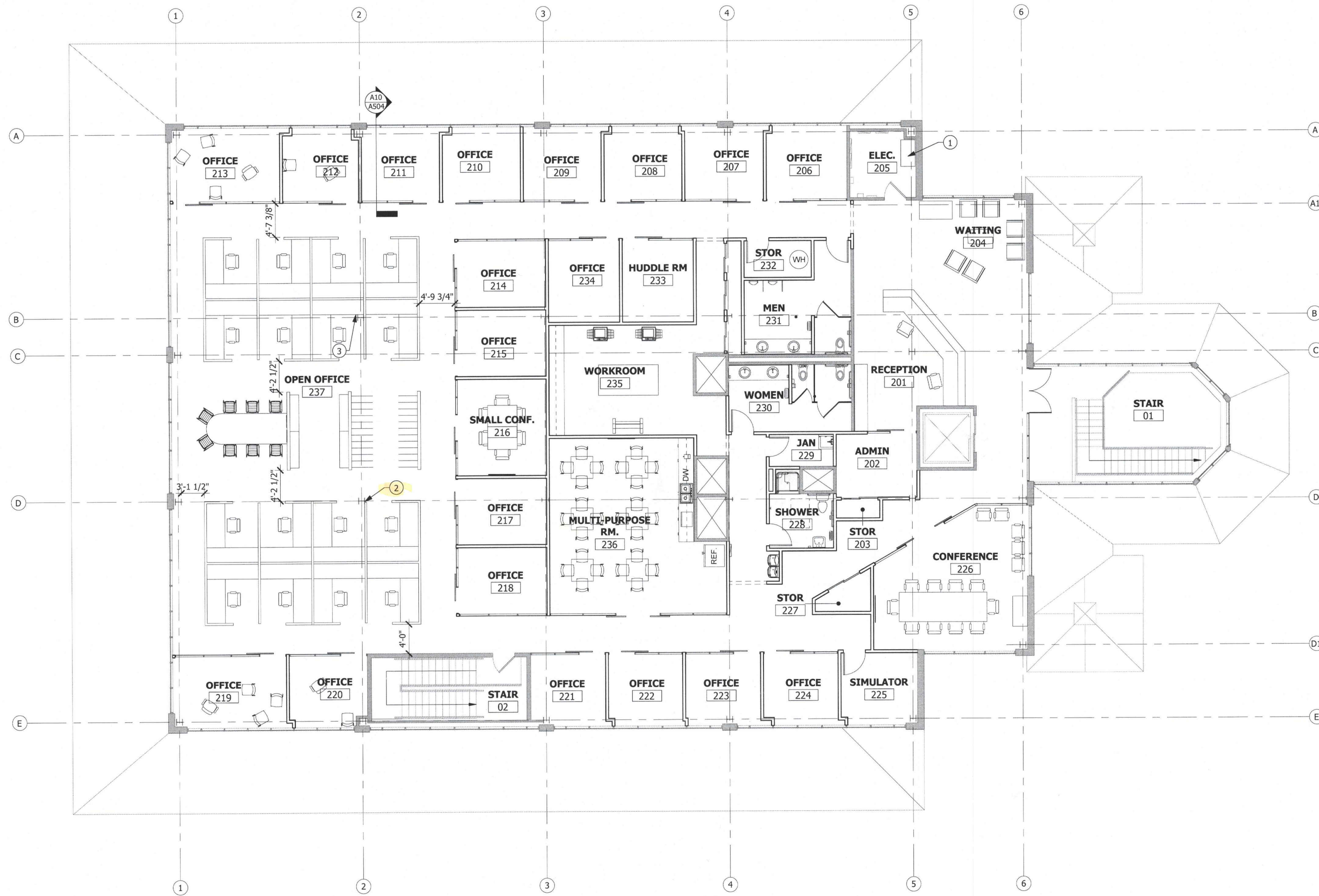
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BIDDING
CONSTRUCTION

PROJECT NO 16040
DRAWN MML
DESIGNED MML
CHECKED HRS

ENLARGED REFLECTED CEILING PLAN

A103

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1. ALL FURNITURE, FIXTURES AND EQUIPMENT IS PROVIDED AND INSTALLED BY TENANT.
2. RECEPTION DESK TO BE PROVIDED BY TENANT AND INSTALLED BY G.C.

K16 GENERAL NOTES

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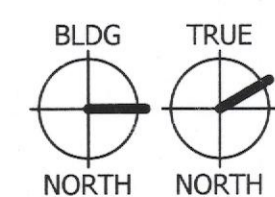
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FURNITURE & EQUIPMENT PLAN

A104



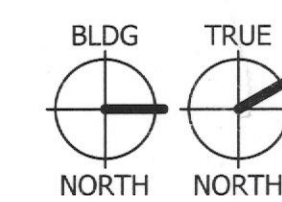
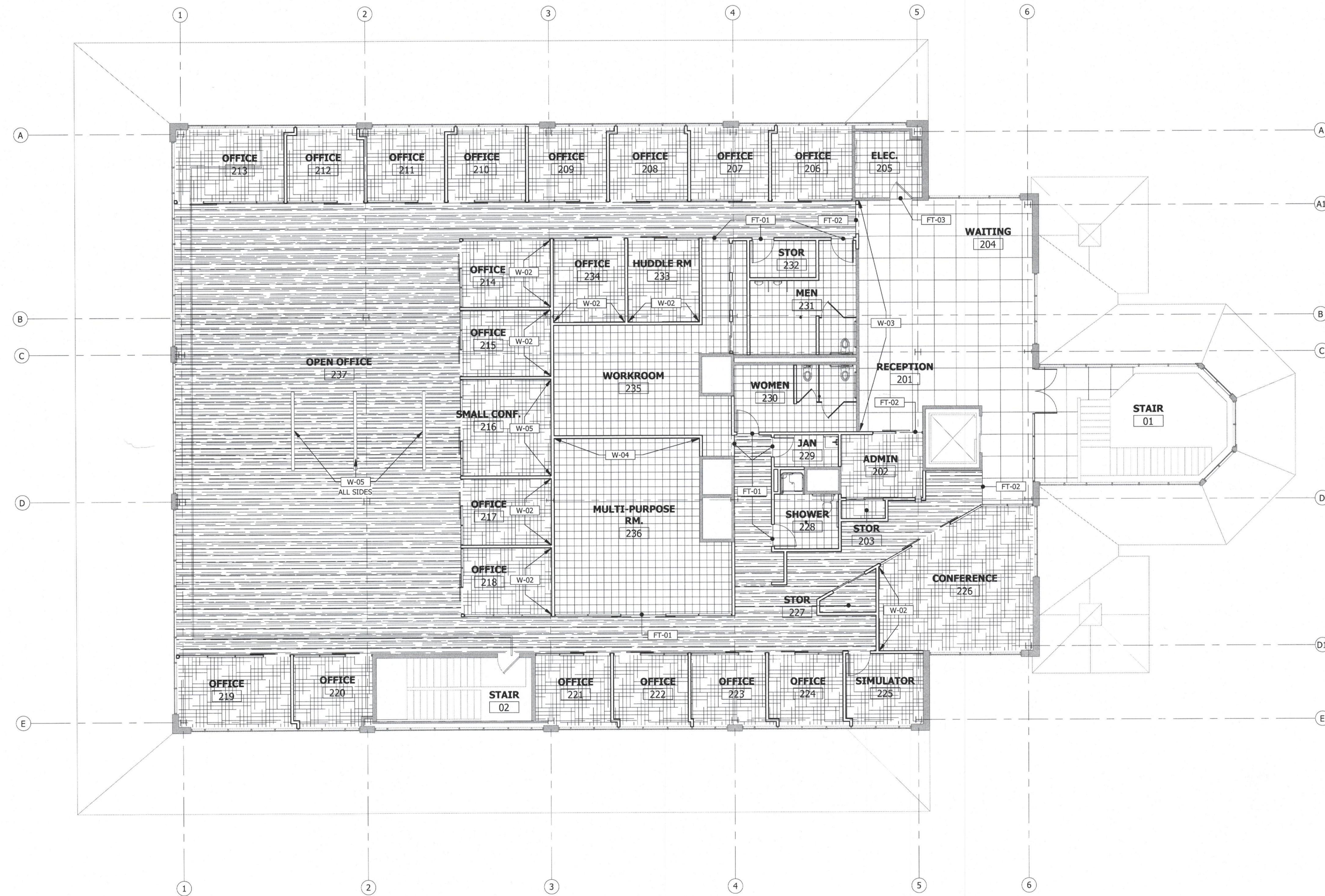
1/8" = 1'-0"

A16 SHEET NOTES

- 1 SERVER CABINET, BY OWNER
- 2 SYSTEMS FURNITURE PANEL TO ALIGN WITH EXISTING STRUCTURAL COLUMN
- 3 SYSTEMS FURNITURE DESK TO ALIGN WITH EXISTING STRUCTURAL COLUMN

A1 NEW WORK - FURNITURE AND EQUIPMENT PLAN

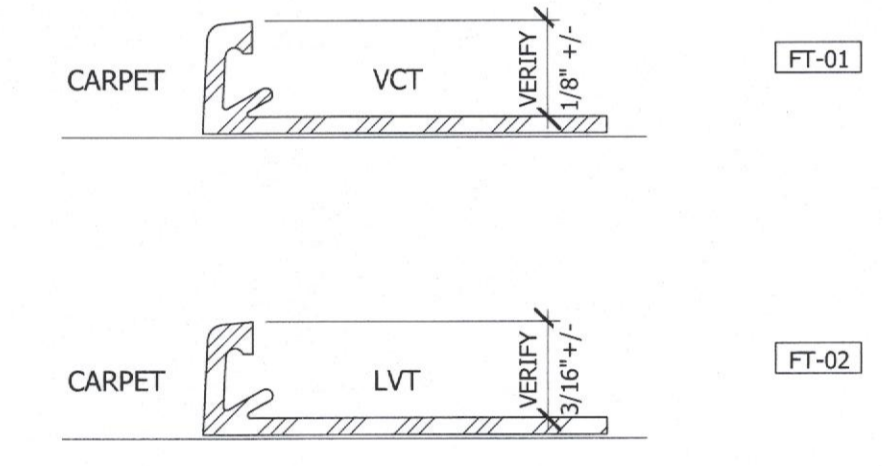
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1/8" = 1'-0"

A1 NEW WORK - FINISH PLAN

A16 SHEET NOTES



G16 TRANSITION DETAILS

- F-01 CARPET TILE RESONATE
- F-02 CARPET TILE MERGE
- F-03 LVT
- F-04 VCT

* SEE A701 FOR FINISH AND MATERIAL SCHEDULES*

D16 FINISH LEGEND

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BALTIMORE, MARYLAND 21224

DATE	DESCRIPTION	REVISIONS

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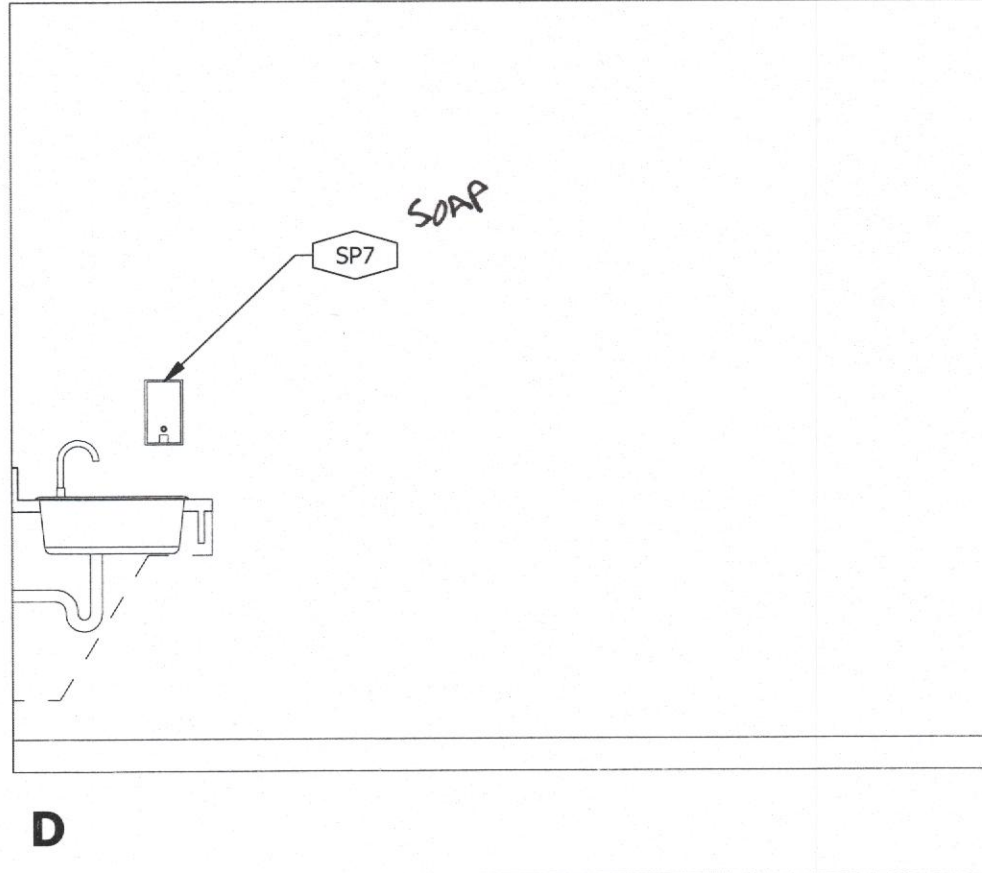
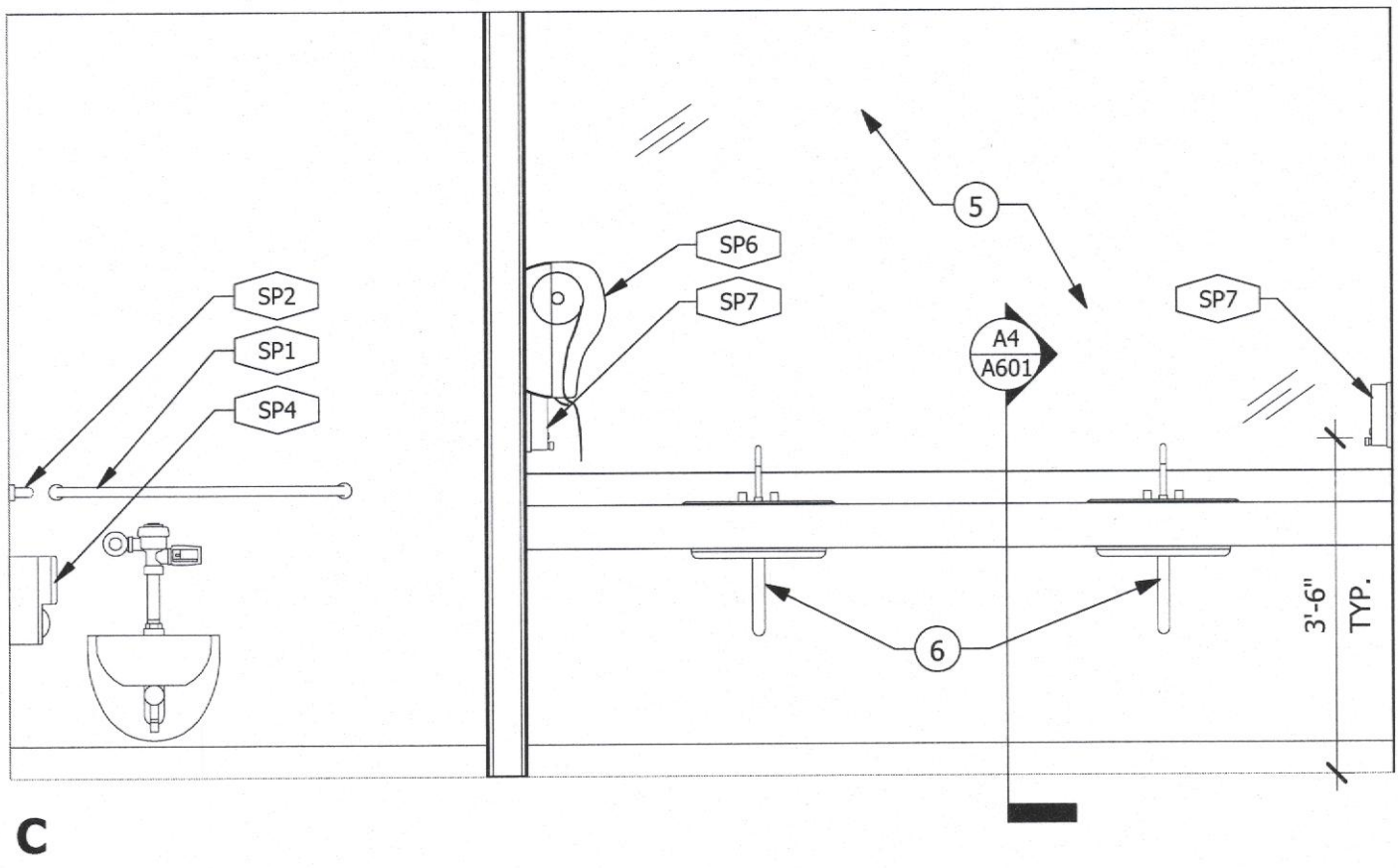
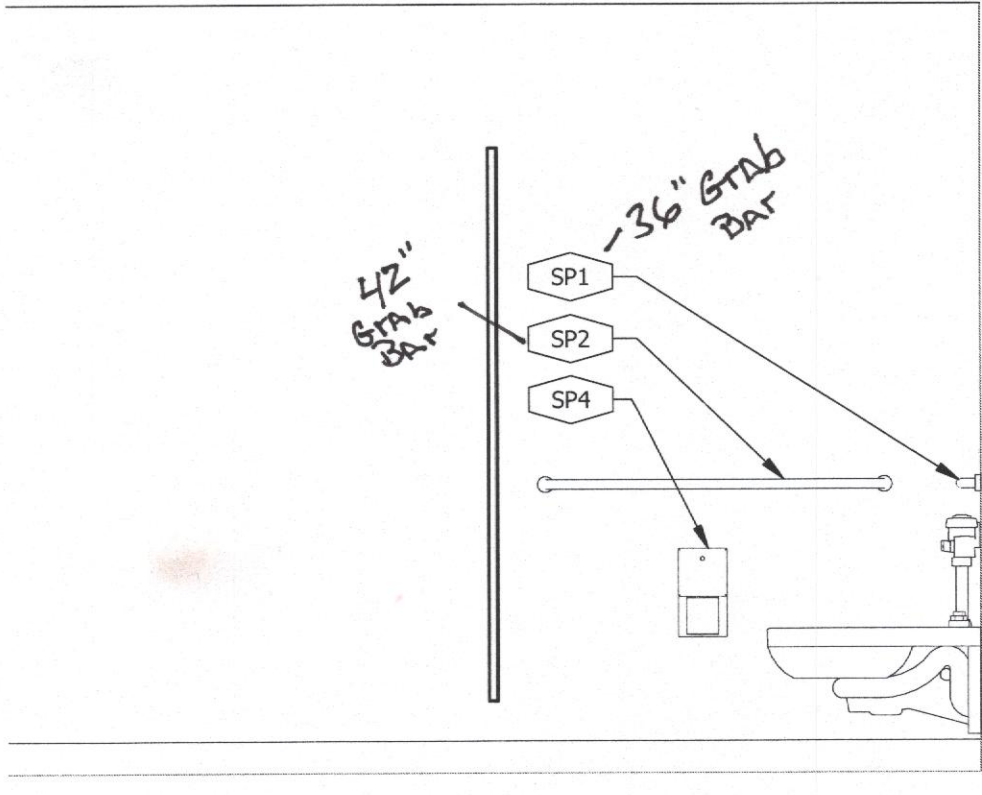
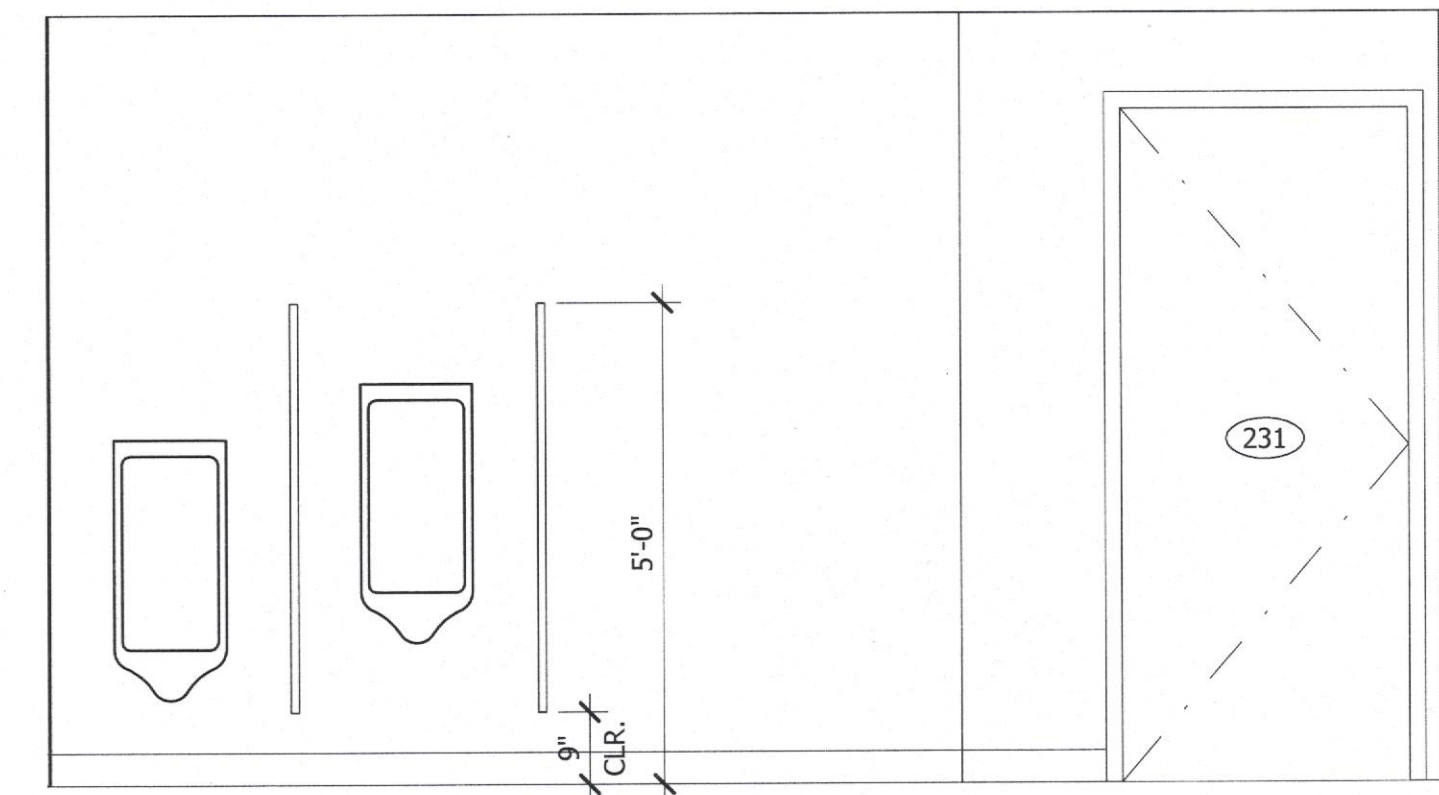
License Number: 12683
Expiration Date: 12/22/16

PRELIMINARY	06/24/16
PERMITS	
BIDDING	
CONSTRUCTION	
PROJECT NO	16040
DRAWN	MML
DESIGNED	JTH
CHECKED	HRS

FINISH PLAN

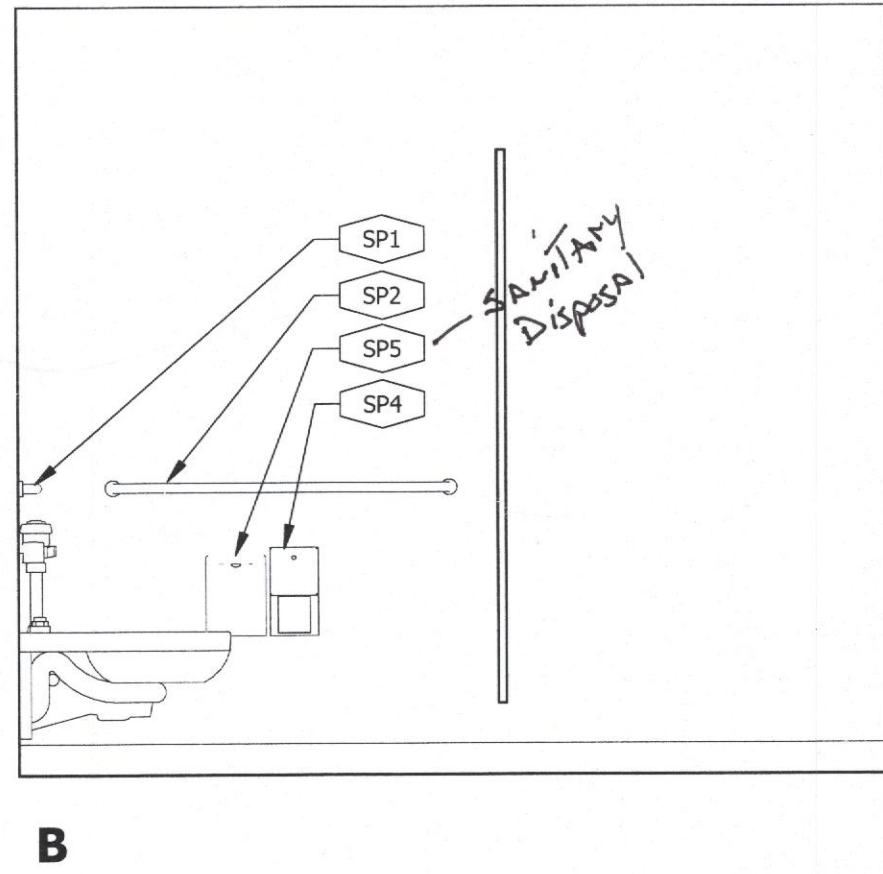
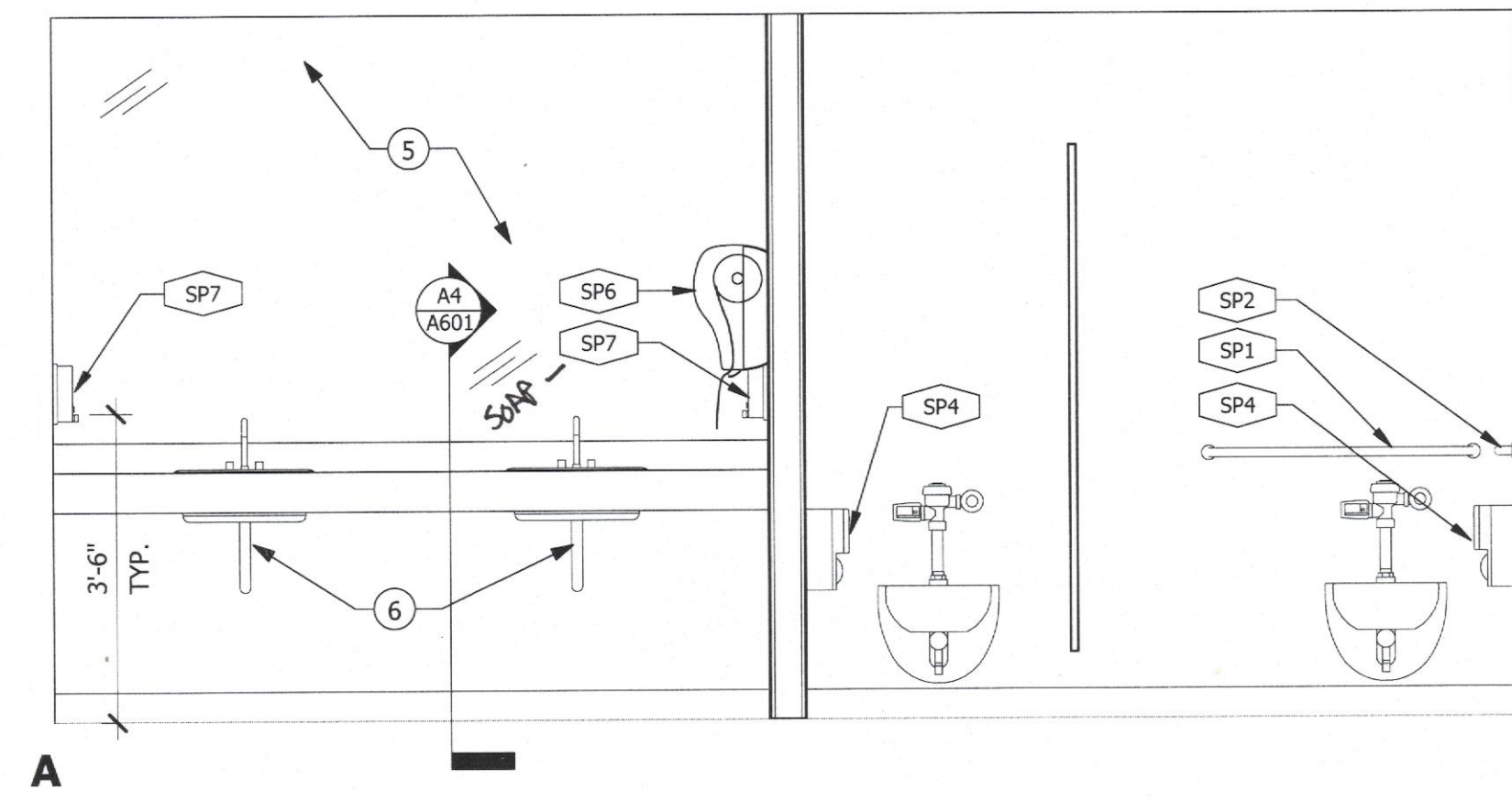
A105

H:\Balance\Planets\Camera\16640\ Moffatt-Nichol\04 Drawings\CAD Drawings\02 Architecture\00 Current\16640 Moffatt-Nichol 2016-05-09 PLAN OPTION.rvt



J1 ELEVATIONS - MEN'S ROOM 231

1/2" = 1'-0"

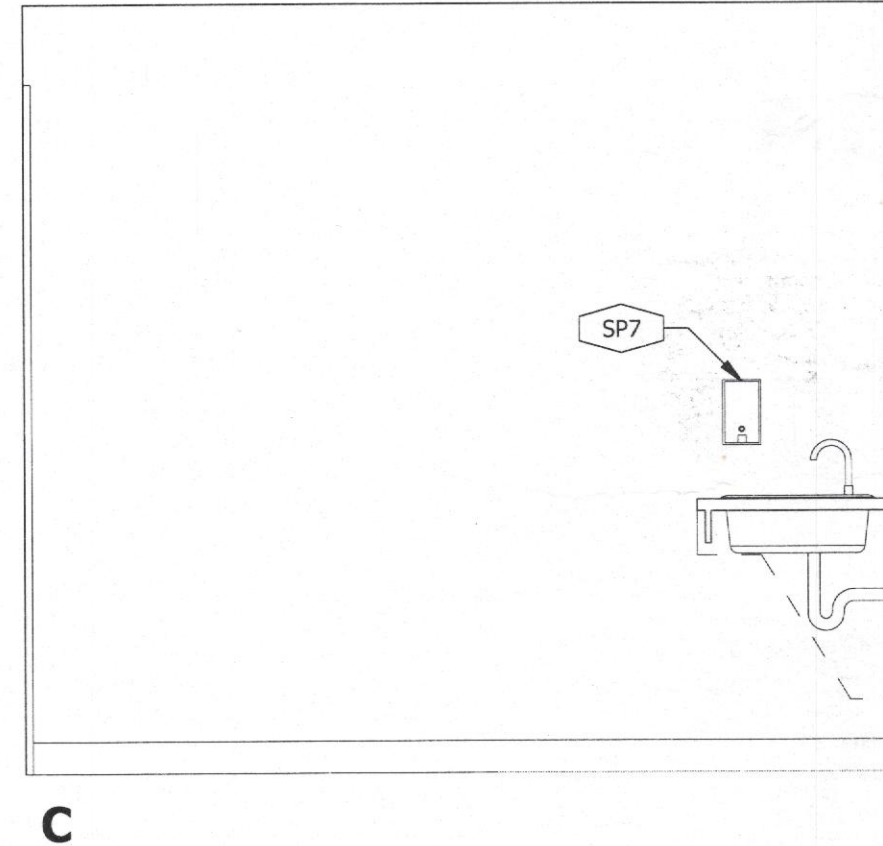


A

B

D1 ELEVATIONS - WOMEN'S ROOM 230

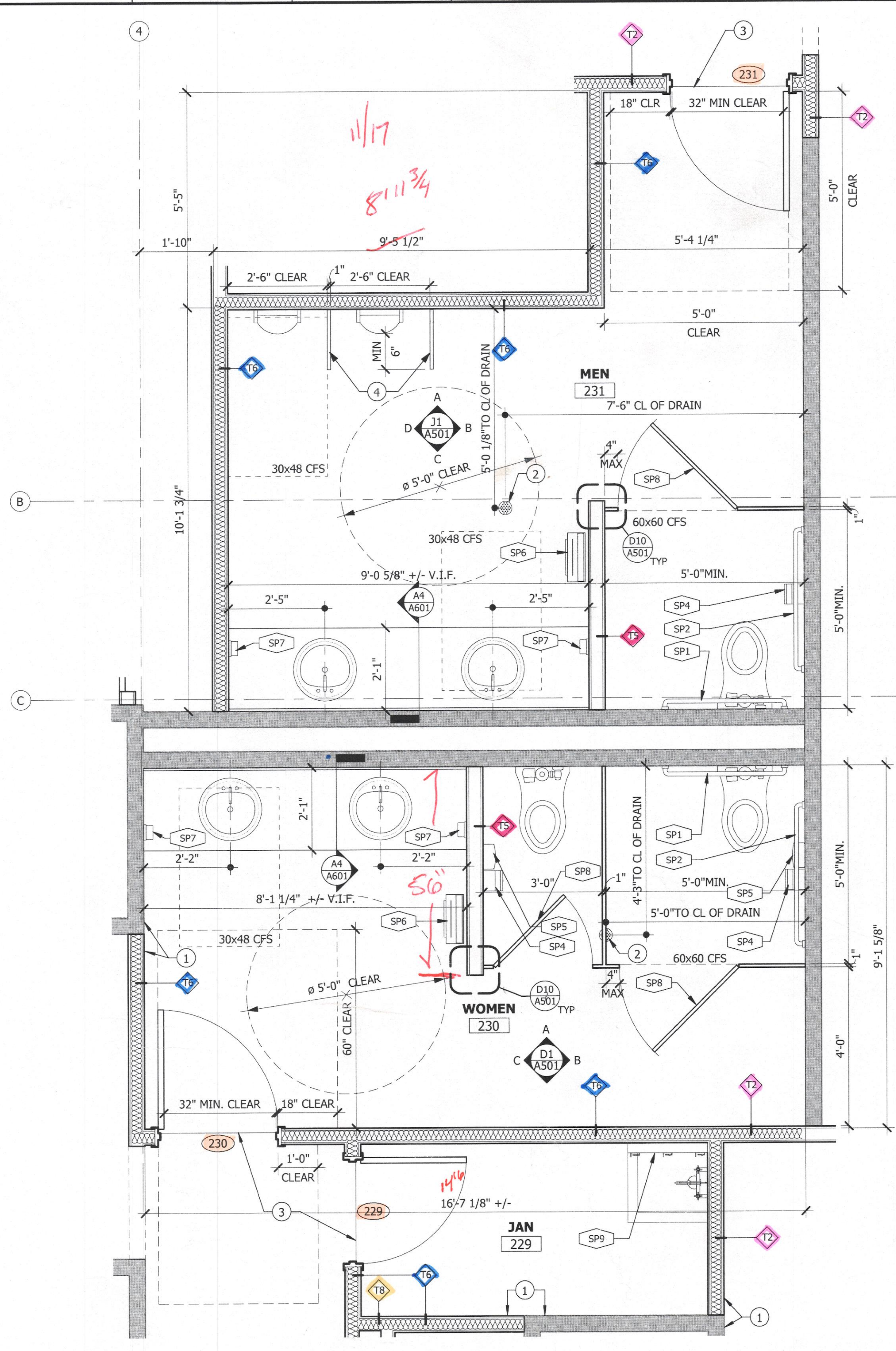
1/2" = 1'-0"



C

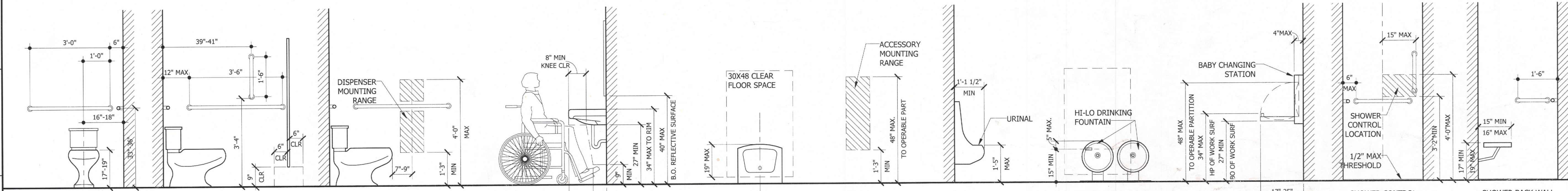
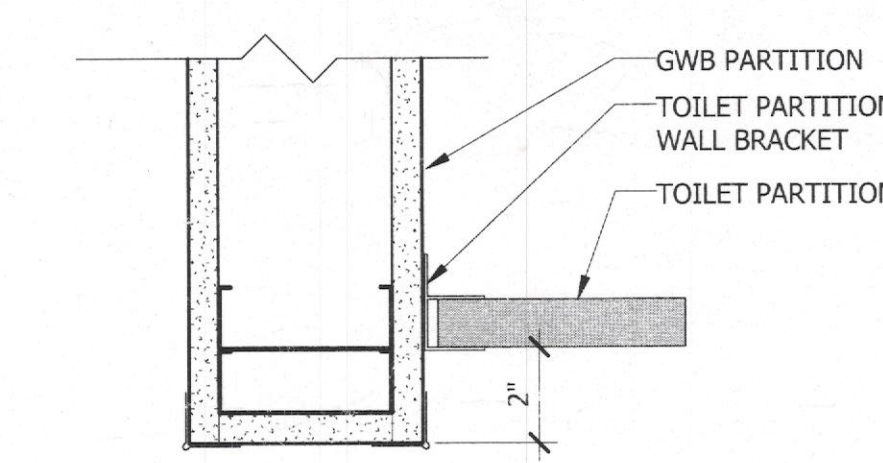
F10 ENLARGED TOILET ROOM PLAN

1/2" = 1'-0"



D10 TOILET PARTITION DETAIL

3" = 1'-0"



A1 TYPICAL ADA MOUNTING HEIGHTS

A16 SHEET NOTES

- A. SEE TYPICAL HEIGHTS THIS PAGE FOR TYPICAL PLUMBING AND ACCESSORY MOUNTING LOCATIONS AND HEIGHTS.
- B. THE DIMENSION SHALL BE TAKEN TO THE CENTERLINE OF THE OPERATING MECHANISM RATHER THAN THE TOP OF THE ACCESSORY FIXTURE.
- C. ACCESSORIES SHALL BE MOUNTED TO FALL WITHIN THE REACH RANGES SPECIFIED IN ADA 2010 SECTION 308.
- D. REFER TO REFLECTED CEILING PLAN FOR FINISH CEILING HEIGHTS.
- E. FLOOR FINISH MATERIALS SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE WITH A SMOOTH, HARD, NON-ABSORBANT BASE THAT EXTENDS UPWARD ONTO THE WALL AT LEAST 4".
- F. WALLS AND PARTITIONS WITHIN 2' OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE TO A HEIGHT OF 4' A.F.F. AND THE MATERIAL USED IN SUCH LOCATIONS SHALL BE A TYPE NOT ADVERSELY AFFECTED BY MOISTURE.
- G. ALL ACCESSORIES PROVIDED ON OR WITHIN WALLS SHALL BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE BLOCKING AT ALL LOCATIONS. GRAB BAR MOUNTING MUST BE CERTIFIED TO WITHSTAND 250LB LOAD.
- H. PROVIDE MOISTURE RESISTANT GWB ON INSIDE FACE OF ALL BATHROOM WALLS.
- I. WHERE PROVIDED, 5% OF LOCKERS (AND NO FEWER THAN ONE) SHALL BE ACCESSIBLE.
- J. ACCESSORIES MOUNTED ABOVE AN OBSTRUCTION BETWEEN 10" AND 24" DEEP SHALL BE MOUNTED AT 46" MAX A.F.F.
- K. WHERE PROVIDED, ACCESSIBLE SHELVING SHALL BE LOCATED 40" MIN AND 48" MAX A.F.F.

K16 GENERAL NOTES

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REVISIONS	DATE

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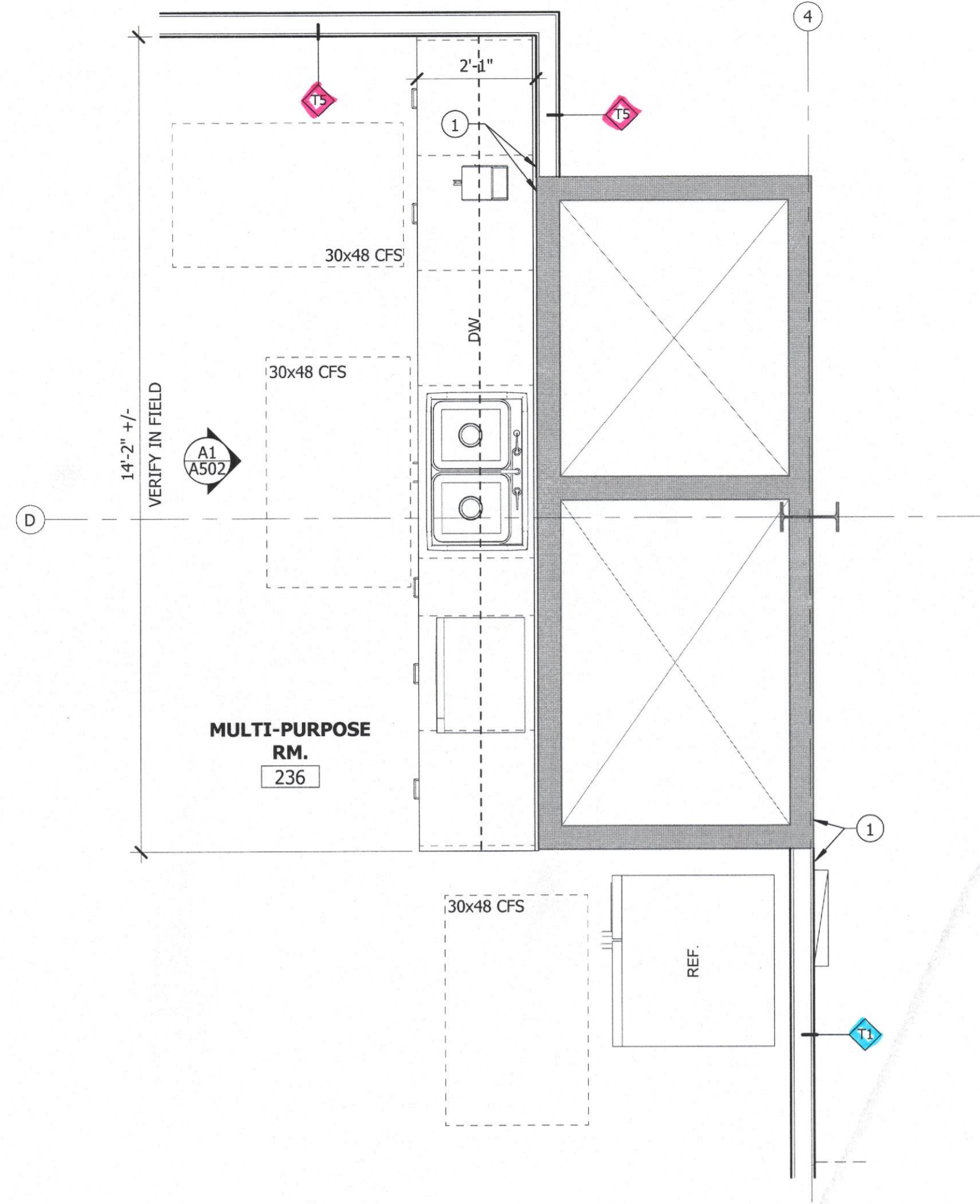
License Number: 12683
Expiration Date: 12/22/16

PRELIMINARY
PERMITS
BIDDING
CONSTRUCTION

PROJECT NO 16640
DRAWN MML
DESIGNED MML
CHECKED HRS

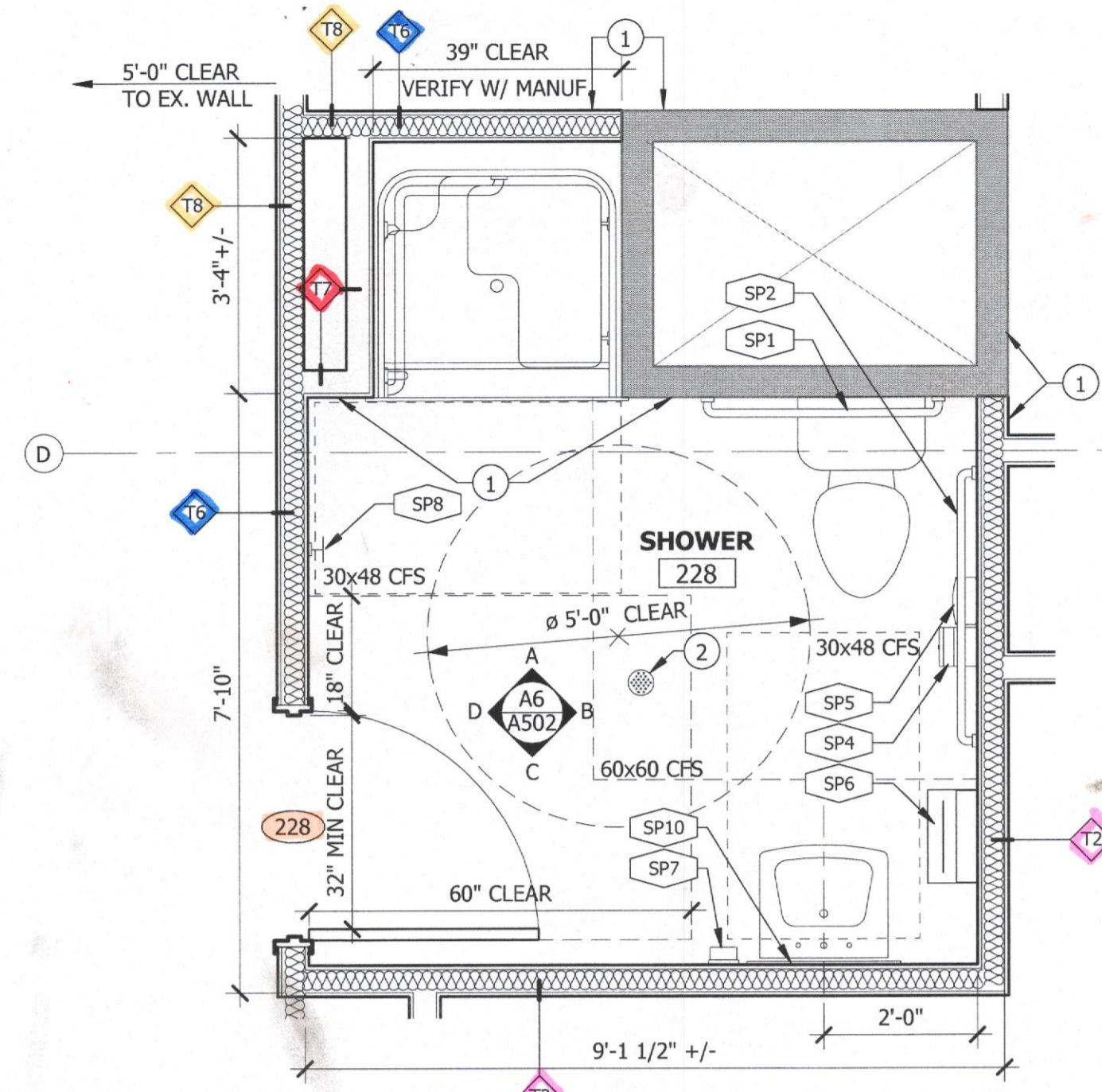
ENLARGED PLANS

A501



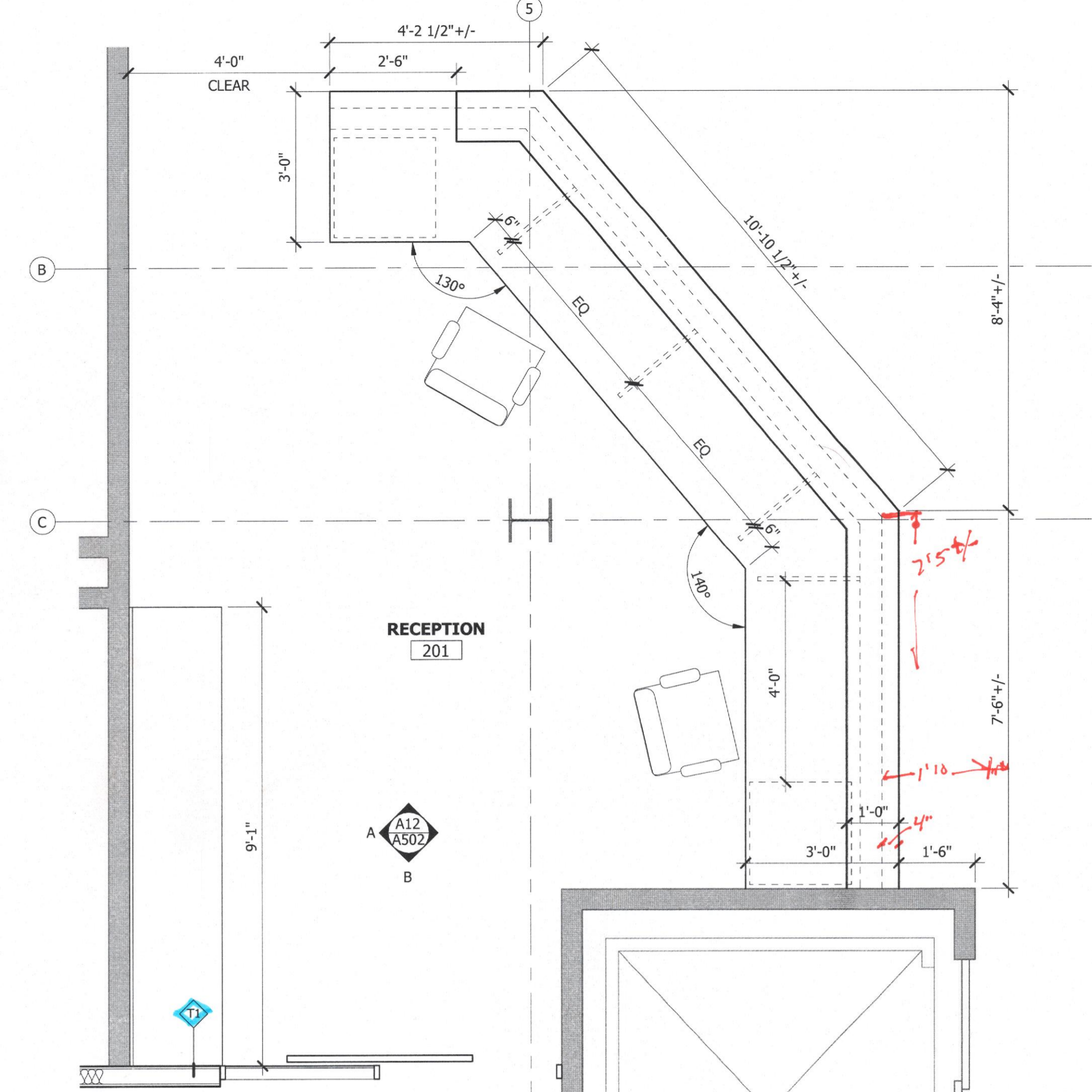
J1 ENLARGED KITCHENETTE PLAN

1/2" = 1'-0"



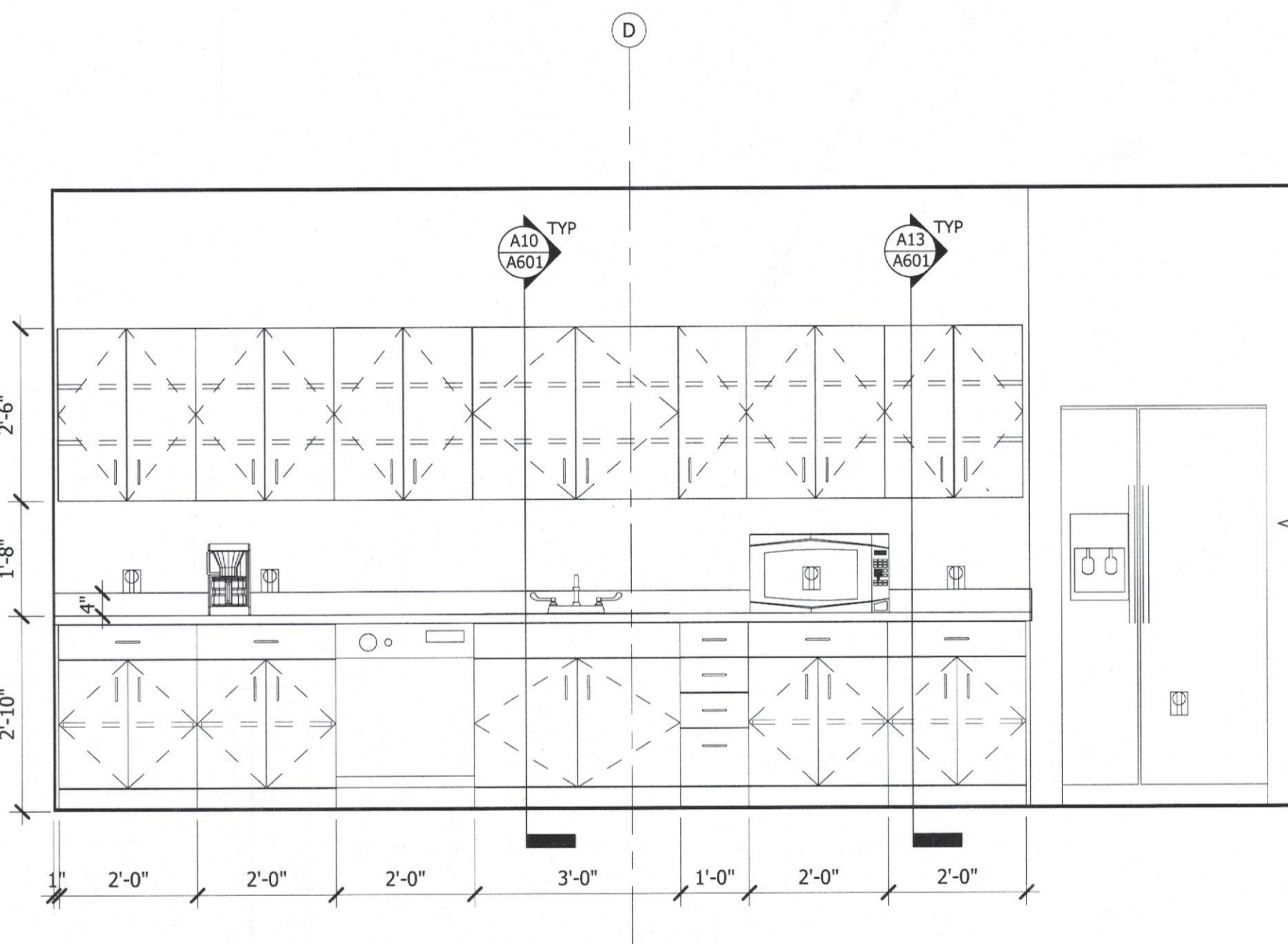
J6 ENLARGED SHOWER PLAN

1/2" = 1'-0"



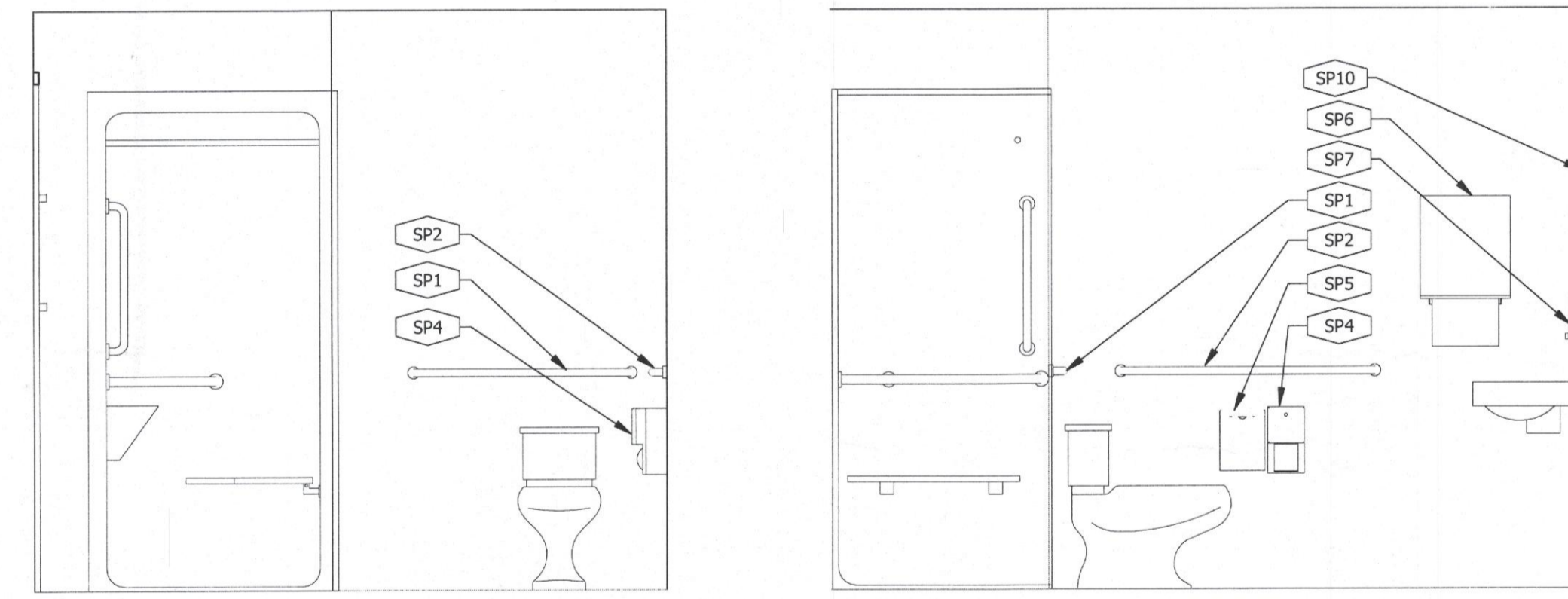
J12 ENLARGED PLAN

1/2" = 1'-0"



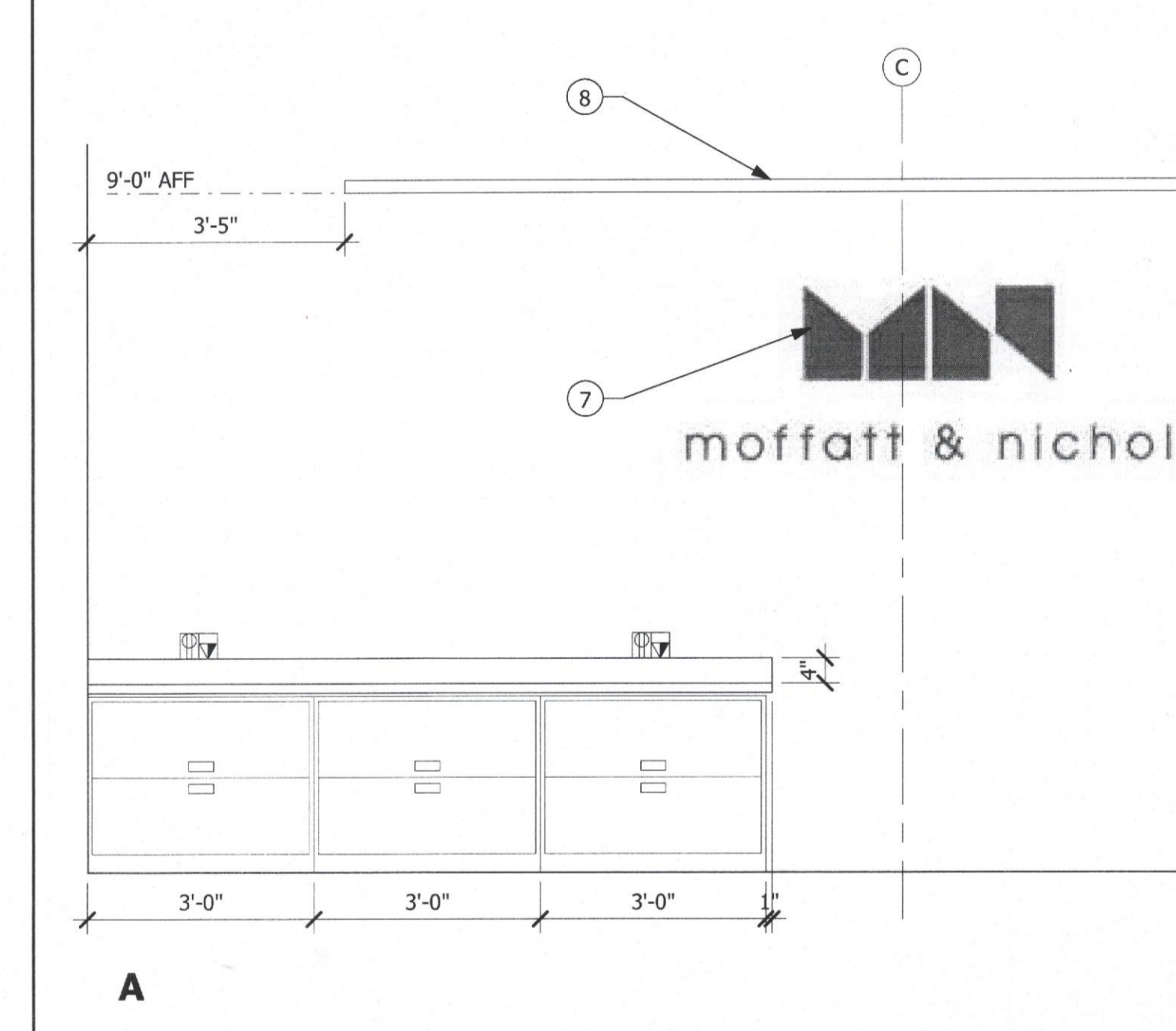
A1 ELEVATION - MULTI-PURPOSE 236

1/2" = 1'-0"



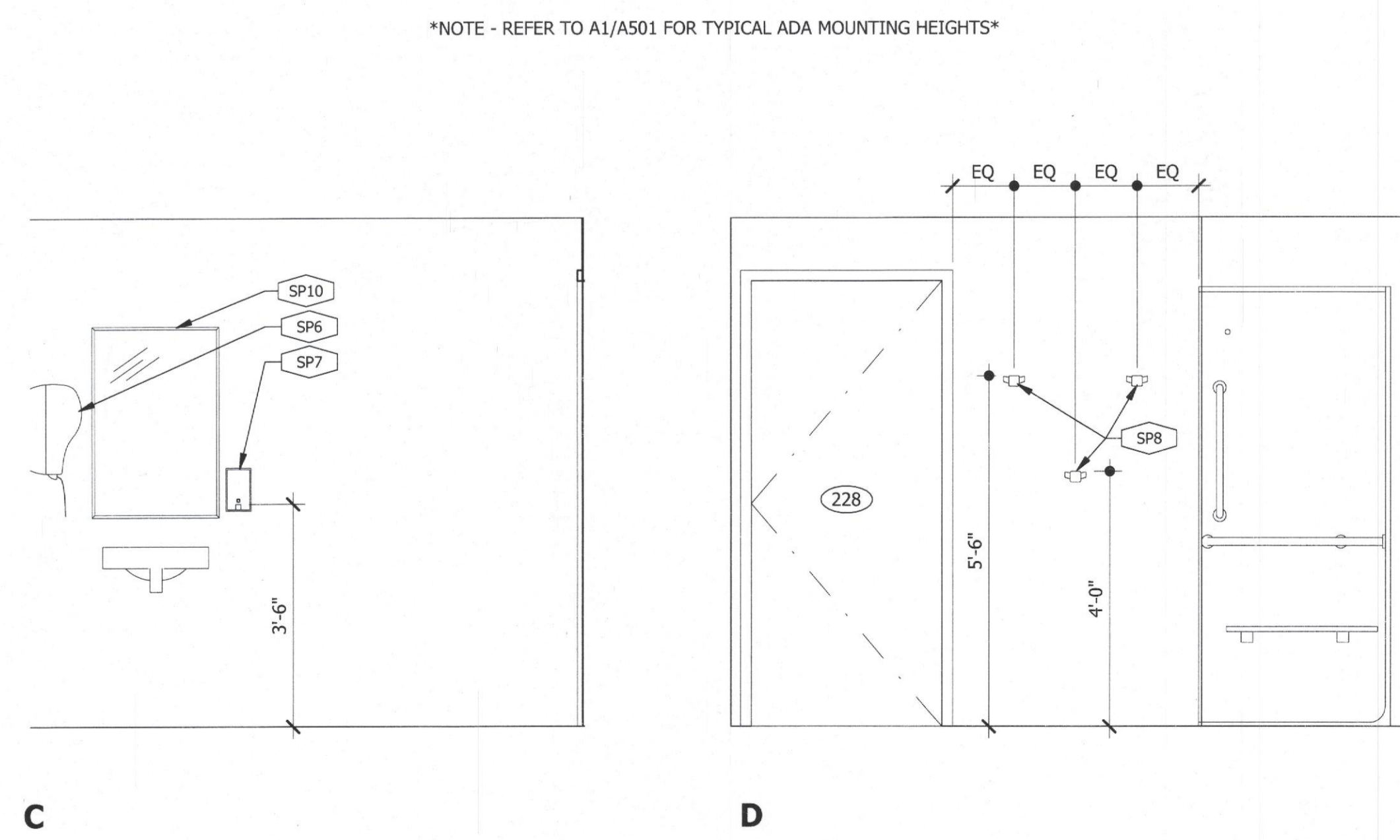
A6 ELEVATIONS - SHOWER 228

1/2" = 1'-0"



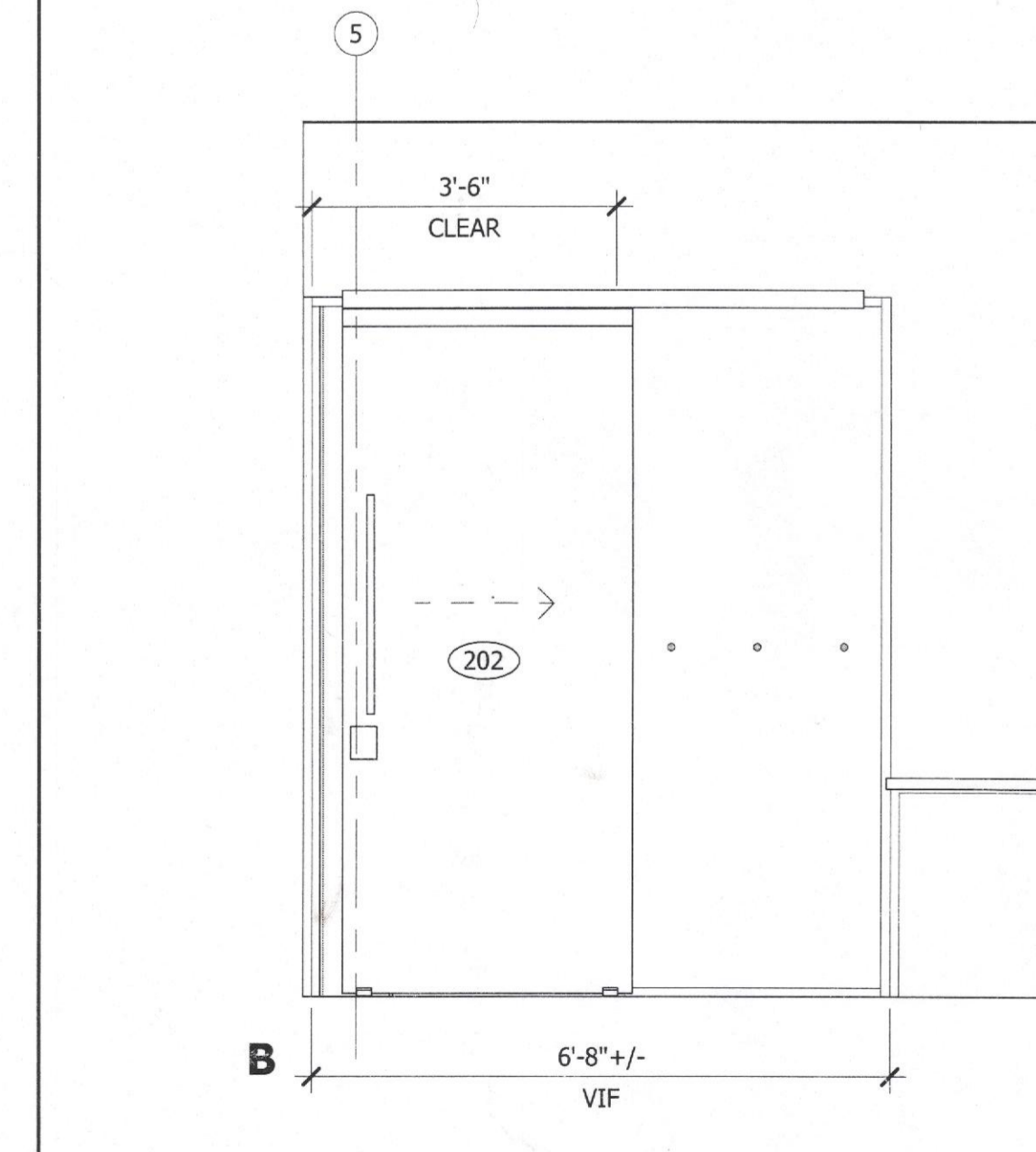
A12 ELEVATIONS - RECEPTION 201

1/2" = 1'-0"



A6

1/2" = 1'-0"



A12

1/2" = 1'-0"

- A. SEE TYPICAL HEIGHTS THIS PAGE FOR TYPICAL PLUMBING AND ACCESSORY MOUNTING LOCATIONS AND HEIGHTS.
- B. THE DIMENSION SHALL BE TAKEN TO THE CENTERLINE OF THE OPERATING MECHANISM RATHER THAN THE TOP OF THE ACCESSORY FIXTURE.
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- D. REFER TO REFLECTED CEILING PLAN FOR FINISH CEILING HEIGHTS.
- E. FLOOR FINISH MATERIALS SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE WITH A SMOOTH, HARD, NON-ABSORBANT BASE THAT EXTENDS UPWARD ONTO THE WALL AT LEAST 4".
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- K. WHERE PROVIDED, ACCESSIBLE SHELVING SHALL BE LOCATED 40" MIN AND 48" MAX A.F.F.

E16 GENERAL NOTES

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 BALTIMORE, MARYLAND 21224

DATE	DESCRIPTION	REVISIONS

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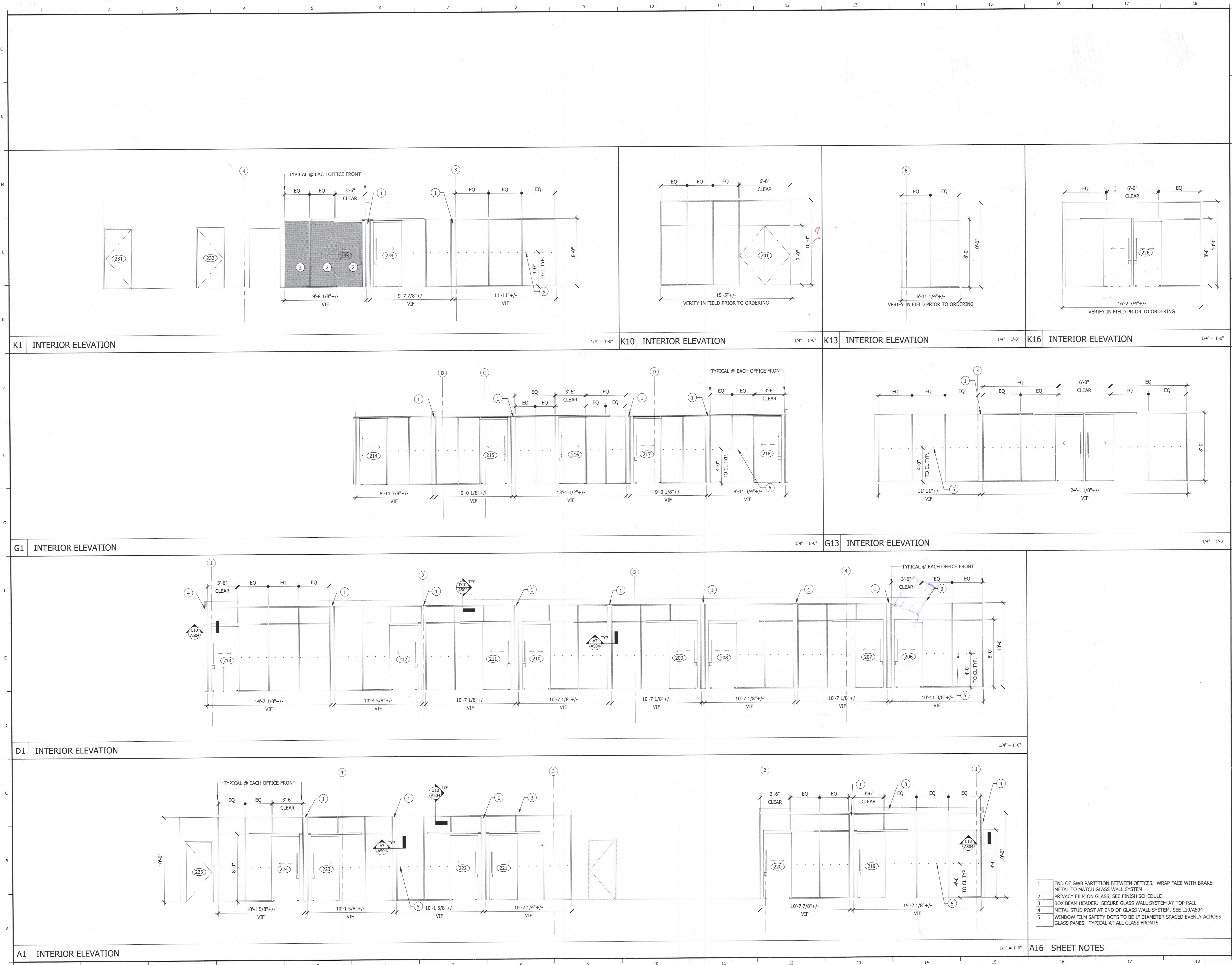
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PRELIMINARY	06/24/16
PERMITS	
BIDDING	
CONSTRUCTION	
PROJECT NO	16040
DRAWN	MML
DESIGNED	MML
CHECKED	HRS

ENLARGED PLANS

A502

H:\Baltimore Marine Center\15640 Moffatt-Nichol-Fit-Out\04-Drawings\CAD\Drawings\02-Architectural\00-Current\15640 Moffatt-Nichol 2016-05-09 PLAN OPTION.rvt



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CONSTRUCTION	
PROJECT NO	16040
DRAWN	MML
DESIGNED	MML
CHECKED	HRS

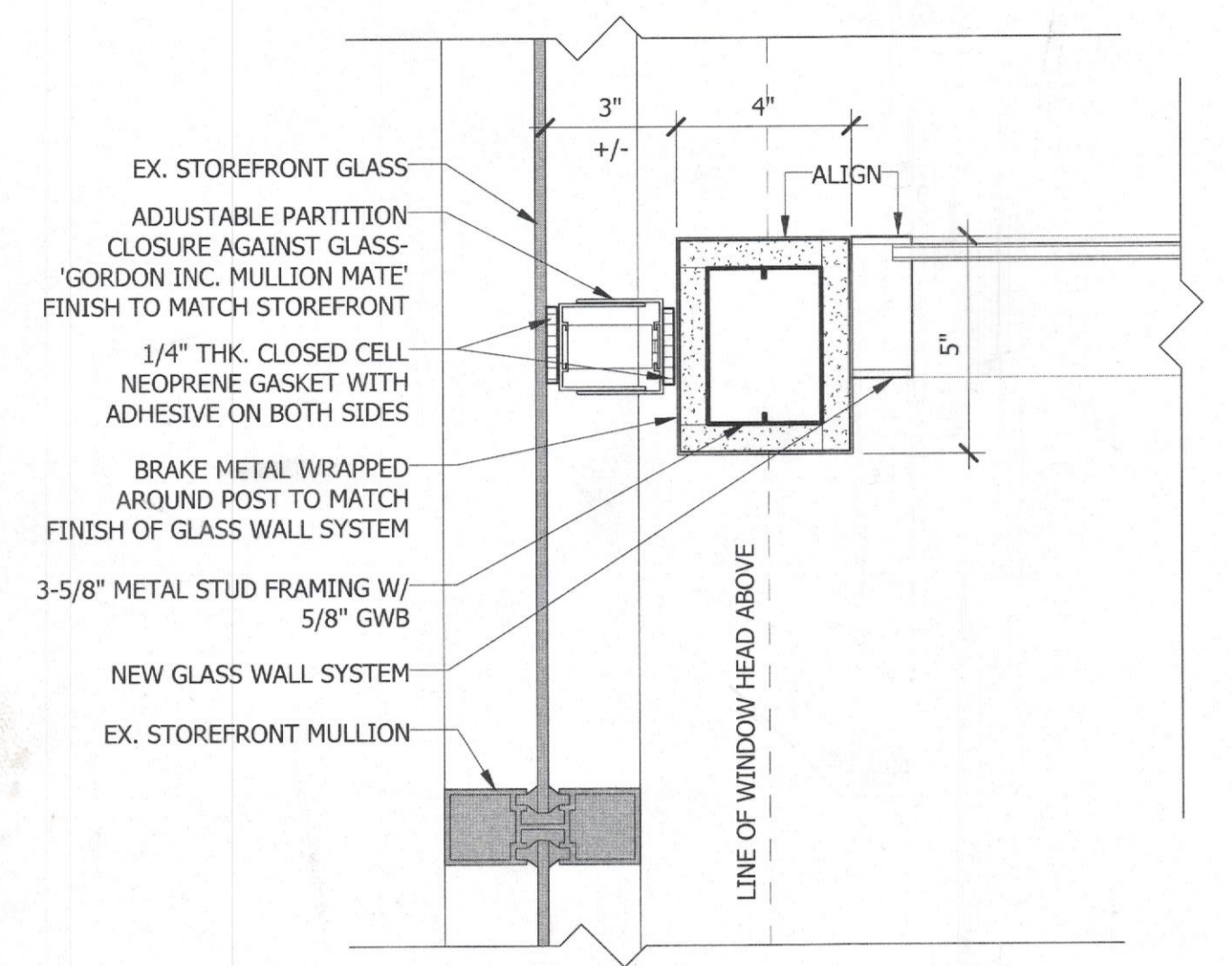
INTERIOR ELEVATIONS

A503

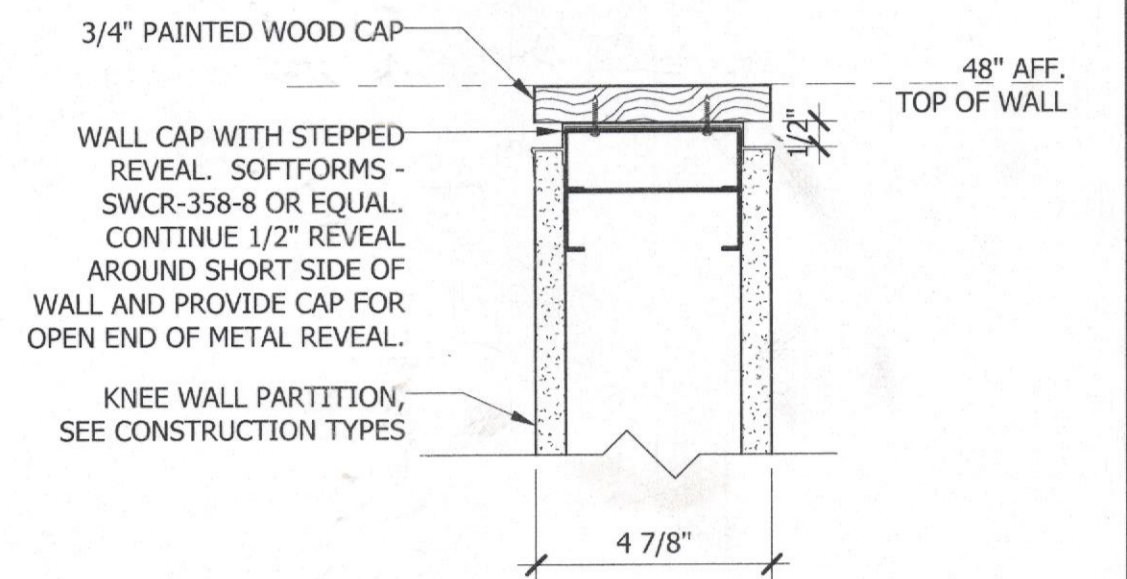
- 1 END OF GWB PARTITION BETWEEN OFFICES. WRAP FACE WITH BRAKE METAL TO MATCH GLASS WALL SYSTEM
- 2 PRIVACY FILM ON GLASS, SEE FINISH SCHEDULE
- 3 BOX BEAM HEADER. SECURE GLASS WALL SYSTEM AT TOP RAIL.
- 4 METAL STUD POST AT END OF GLASS WALL SYSTEM, SEE L10/A504
- 5 WINDOW FILM SAFETY DOTS TO BE 1" DIAMETER SPACED EVENLY ACROSS GLASS PANES. TYPICAL AT ALL GLASS FRONTS.

A16 SHEET NOTES

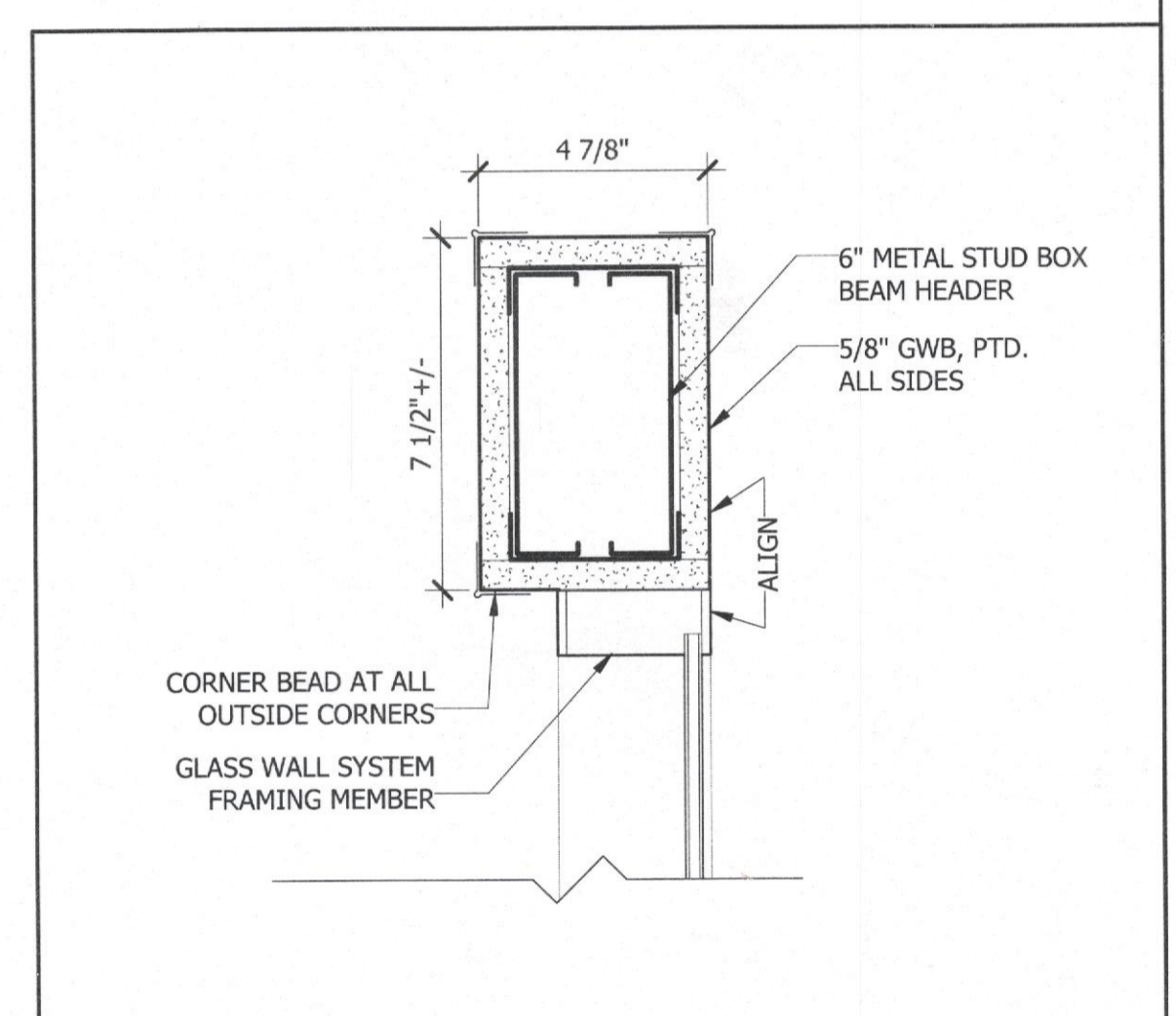
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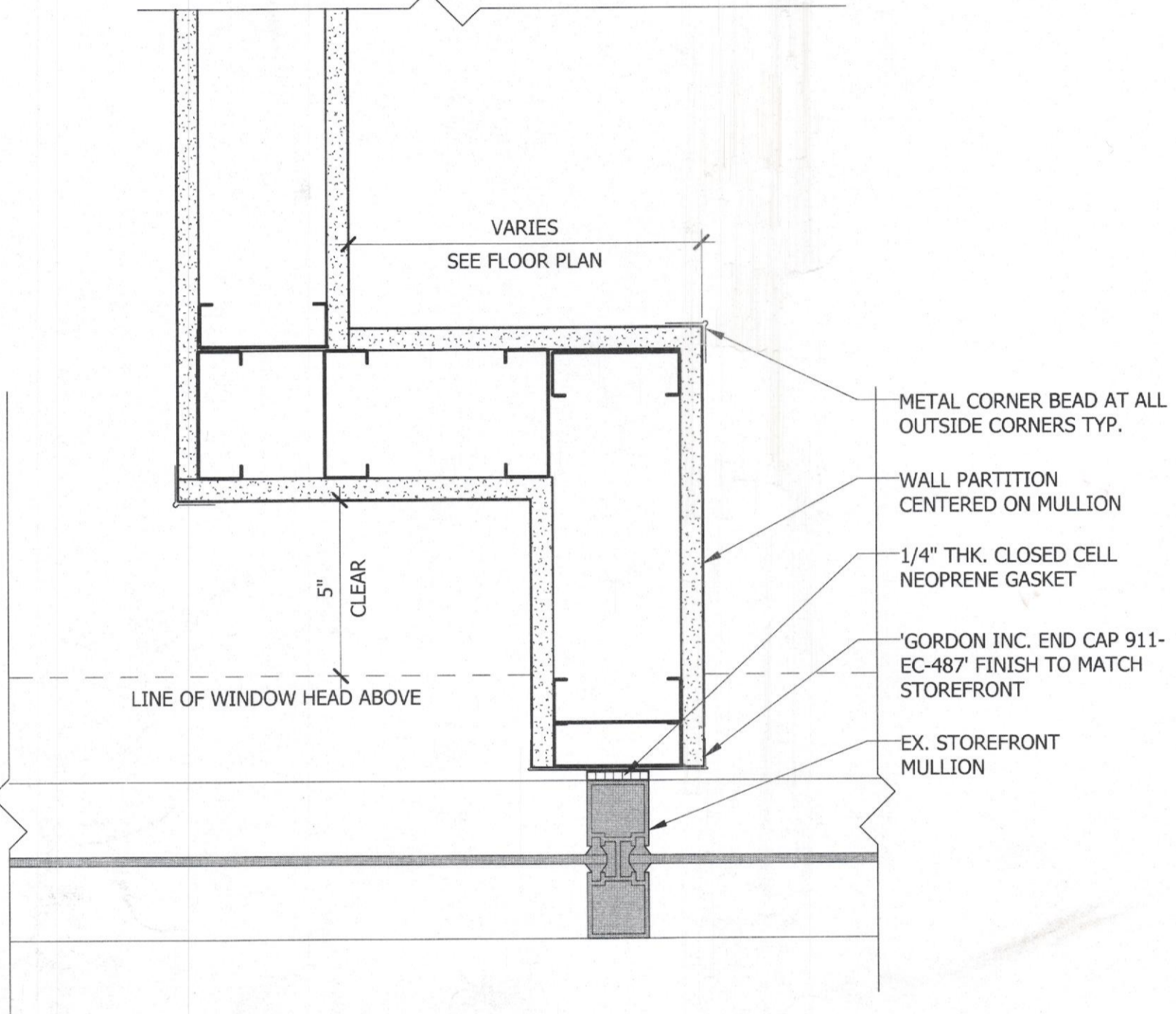
L10 DETAIL - END POST @ STOREFRONT GLASS 3" = 1'-0"



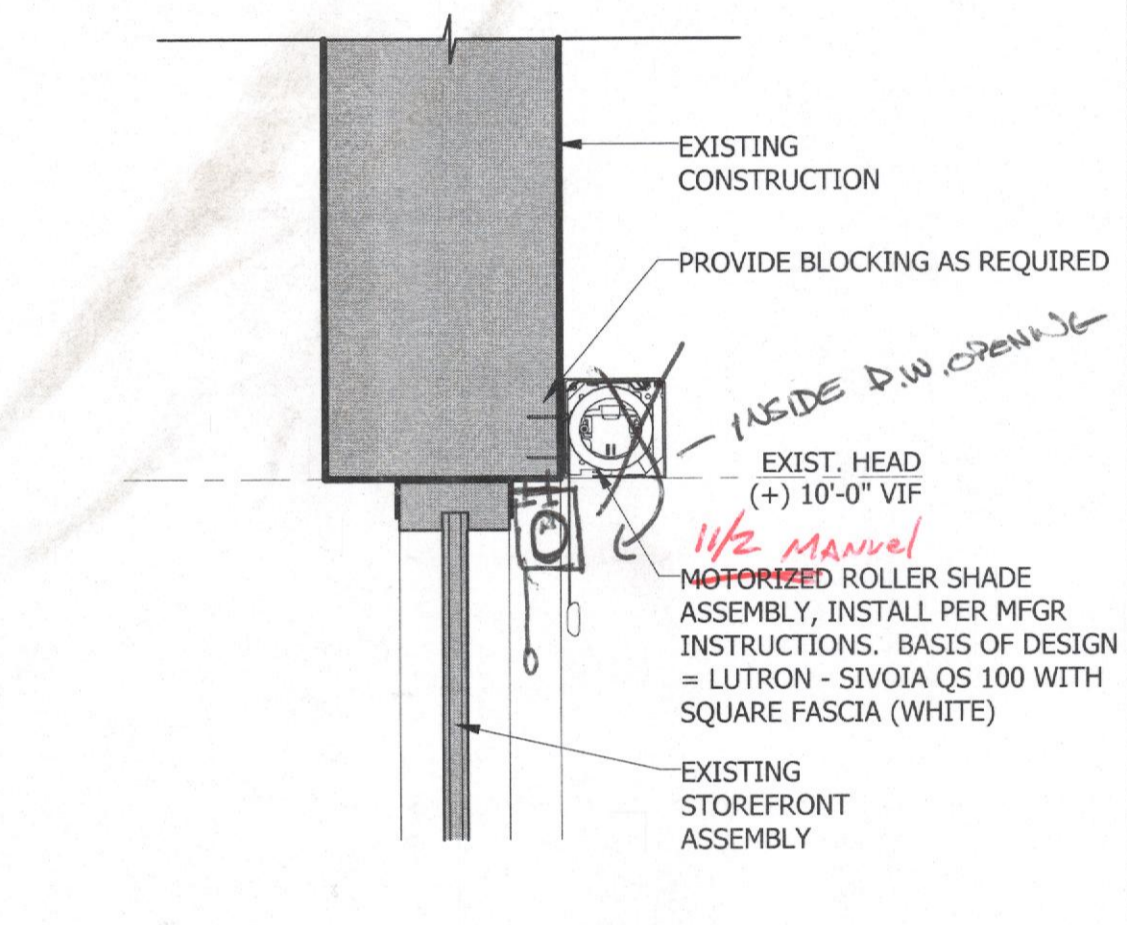
K16 DETAIL - KNEE WALL CAP 3" = 1'-0"



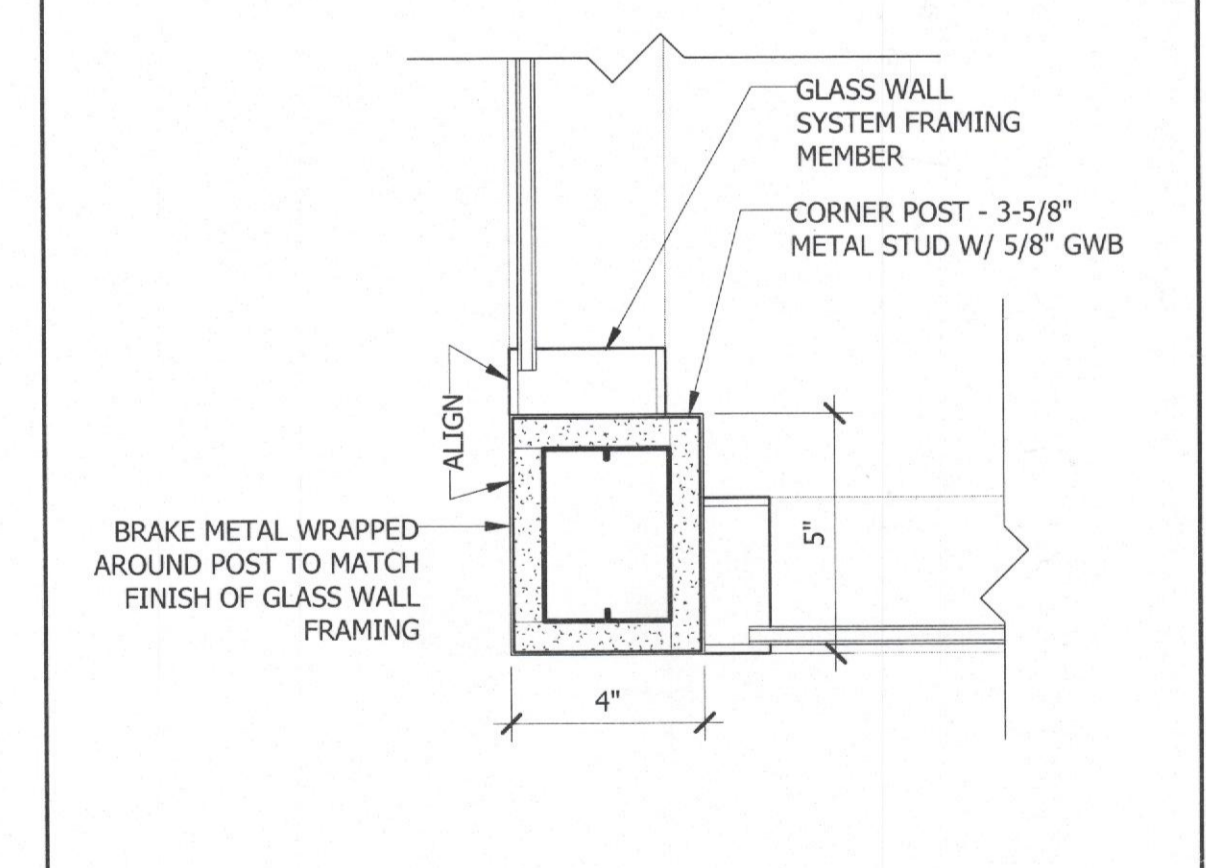
D10 DETAIL - GLASS WALL HEADER 3" = 1'-0"



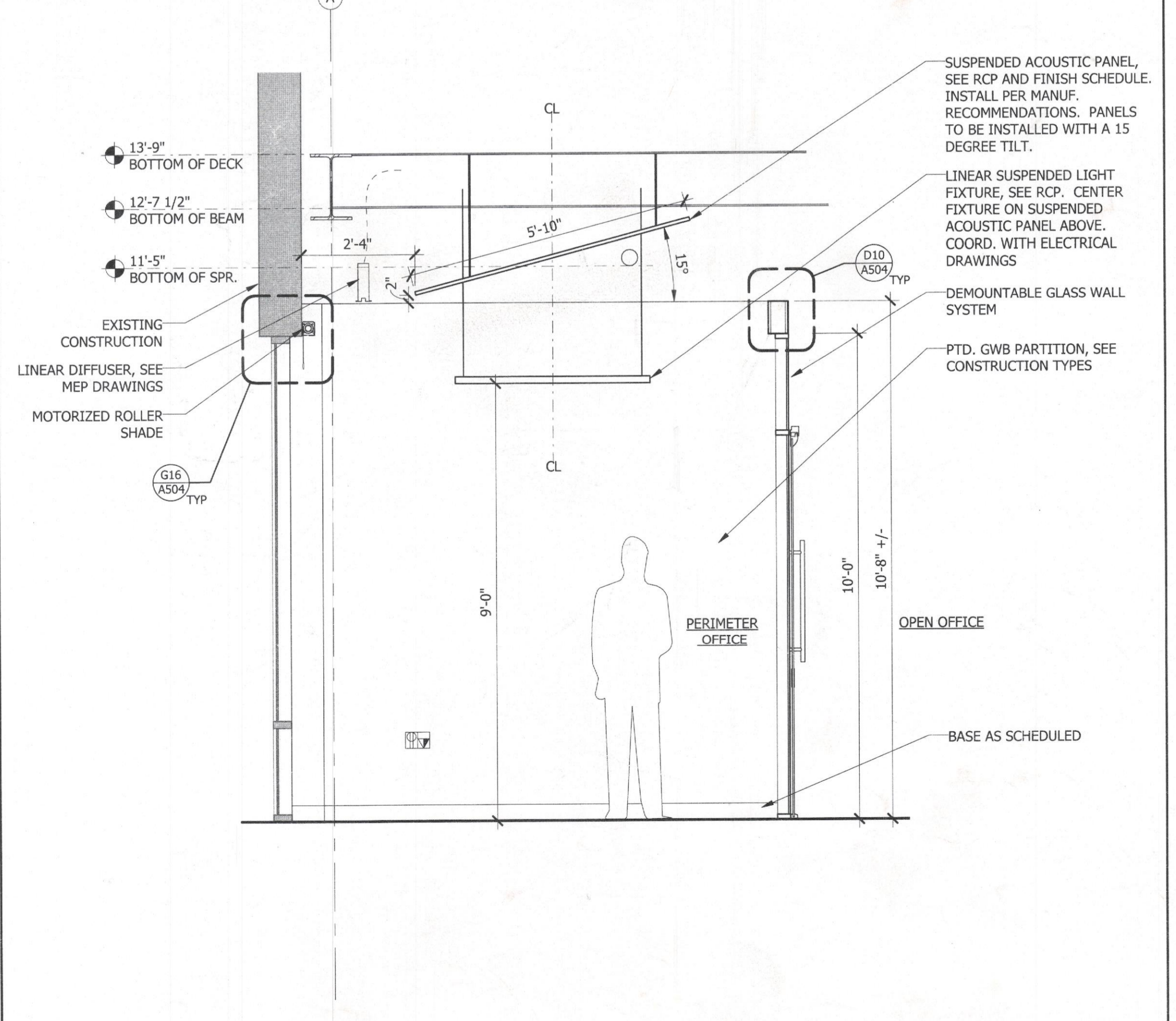
G10 DETAIL - PARTITION @ MULLION 3" = 1'-0"



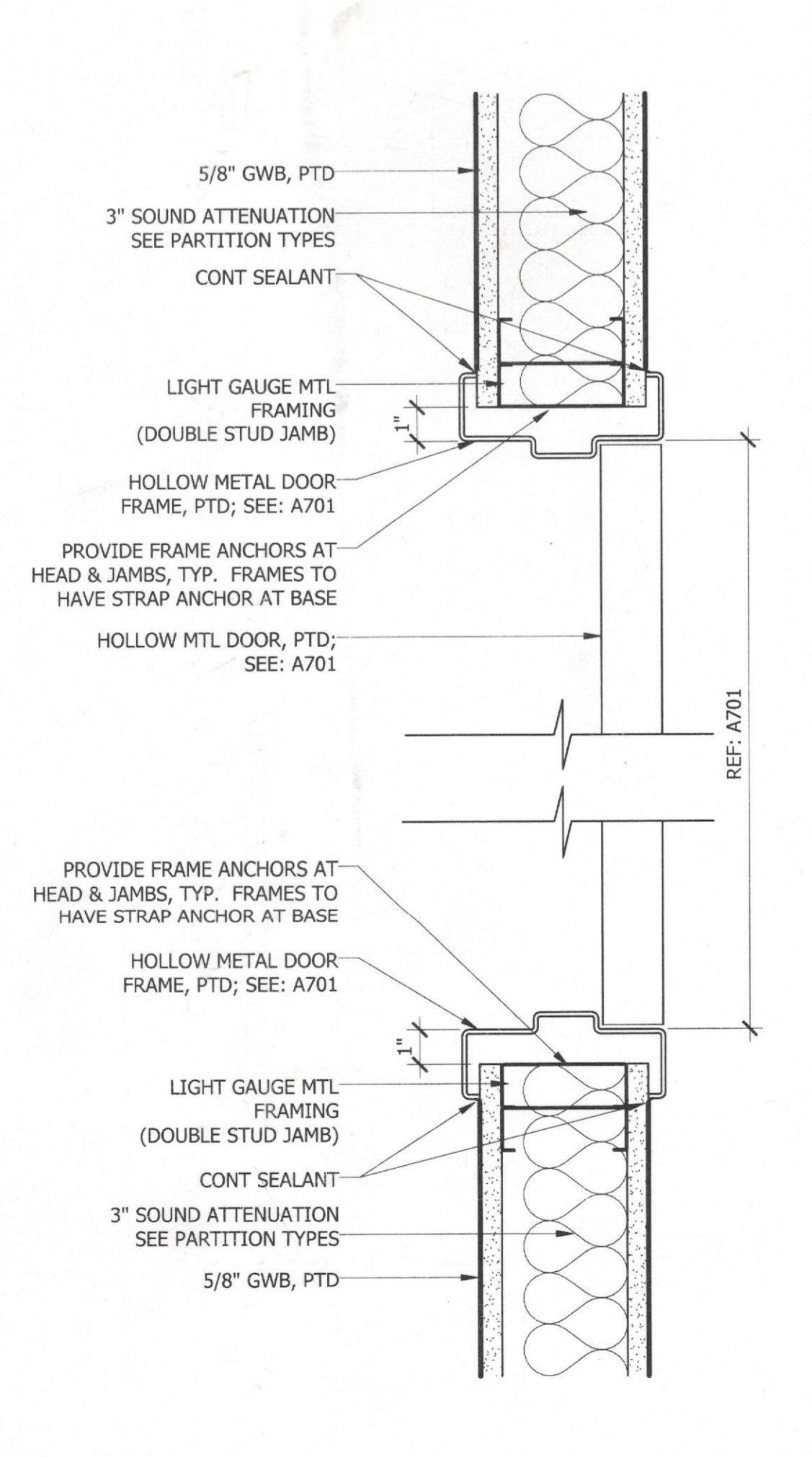
G16 DETAIL - ROLLER SHADE 1-1/2" = 1'-0"



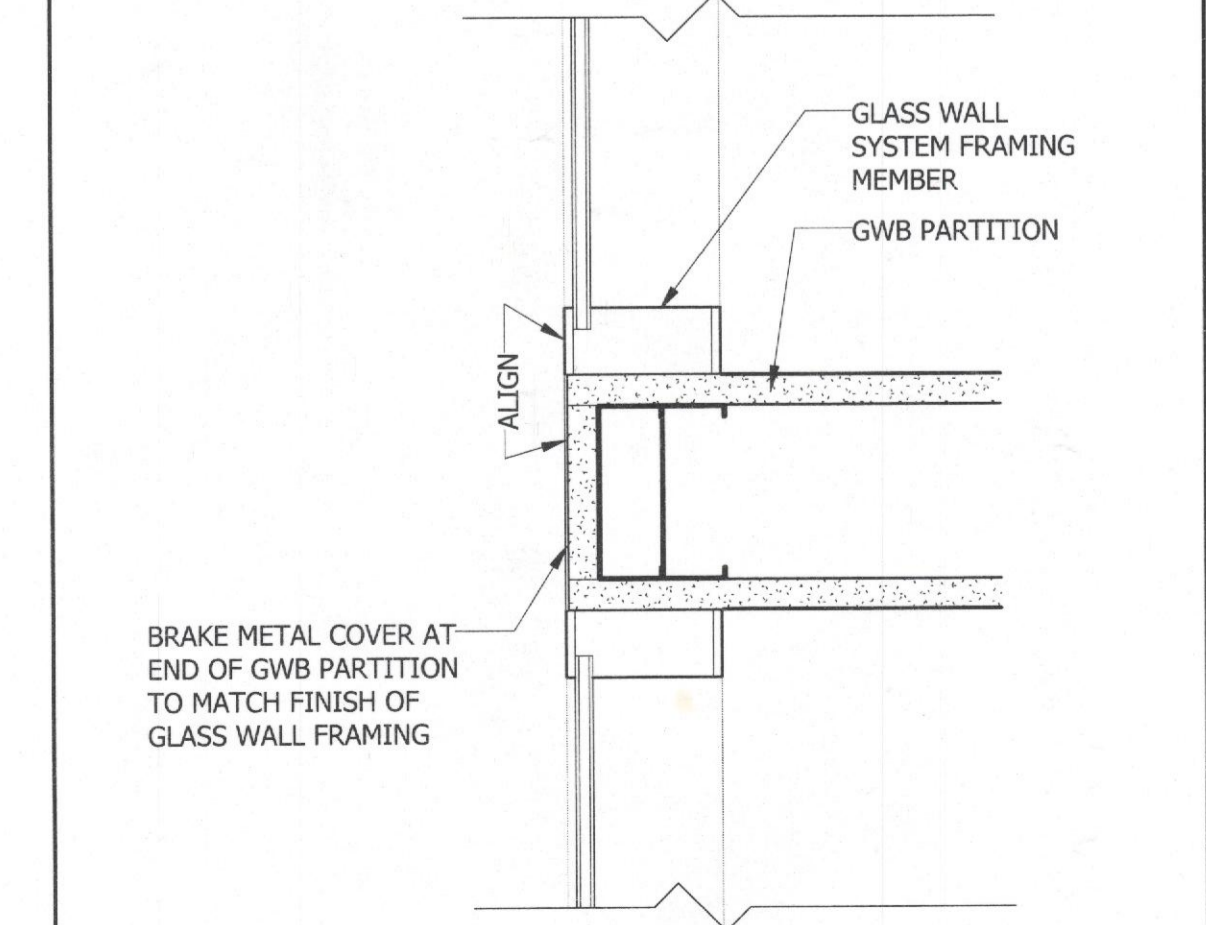
D7 DETAIL - GLASS WALL FRAMING 3" = 1'-0"



A10 SECTION @ TYPICAL OFFICE 1/2" = 1'-0"



A16 DETAIL - TYPICAL DOOR JAMB 3" = 1'-0"



A7 DETAIL - GLASS WALL FRAMING 3" = 1'-0"

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DATE	DESCRIPTION	REVISIONS

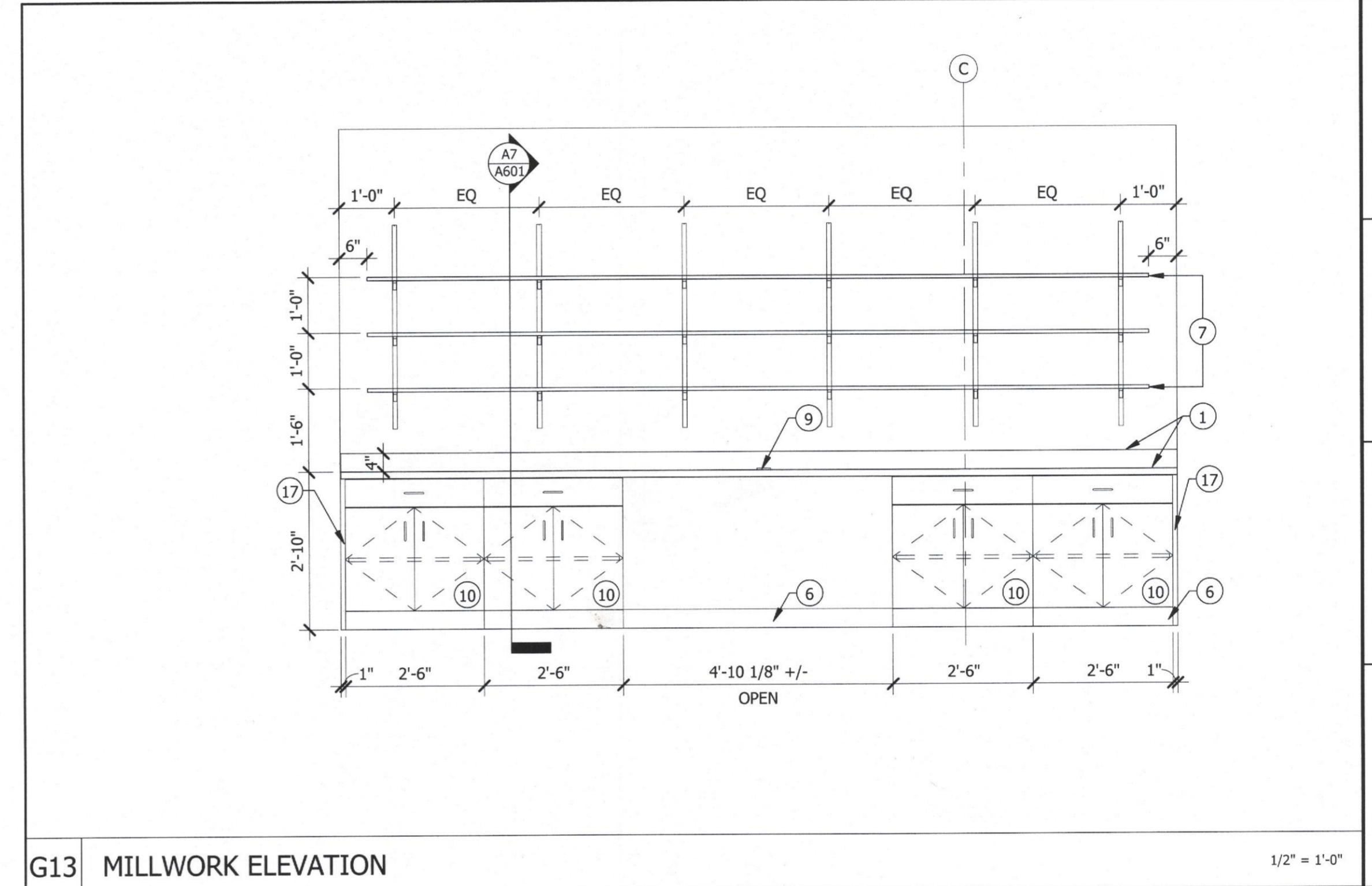
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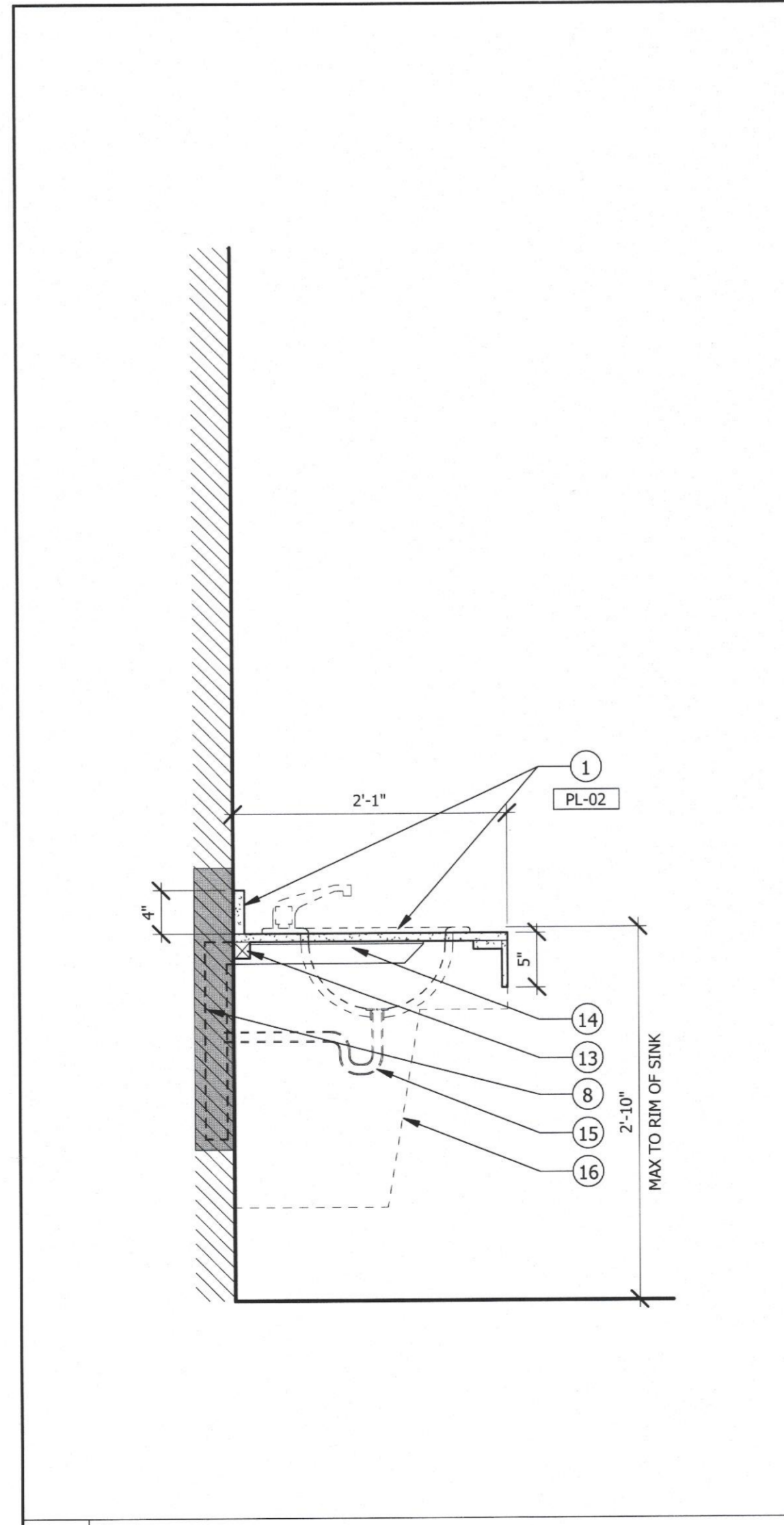
PRELIMINARY	06/24/16
PERMITS	
BIDDING	
CONSTRUCTION	
PROJECT NO	16040
DRAWN	MML
DESIGNED	MML
CHECKED	HRS

DETAILS
A504

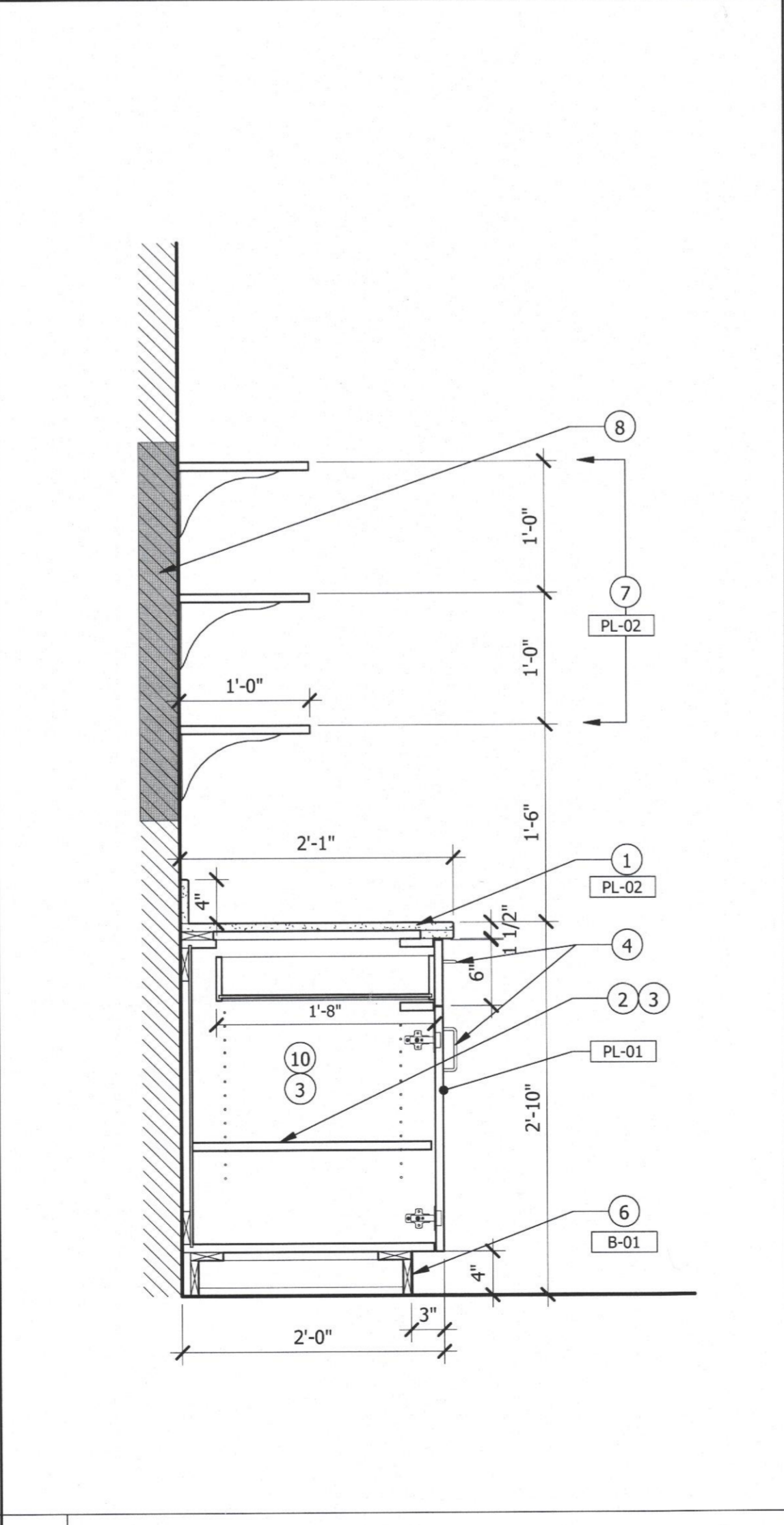
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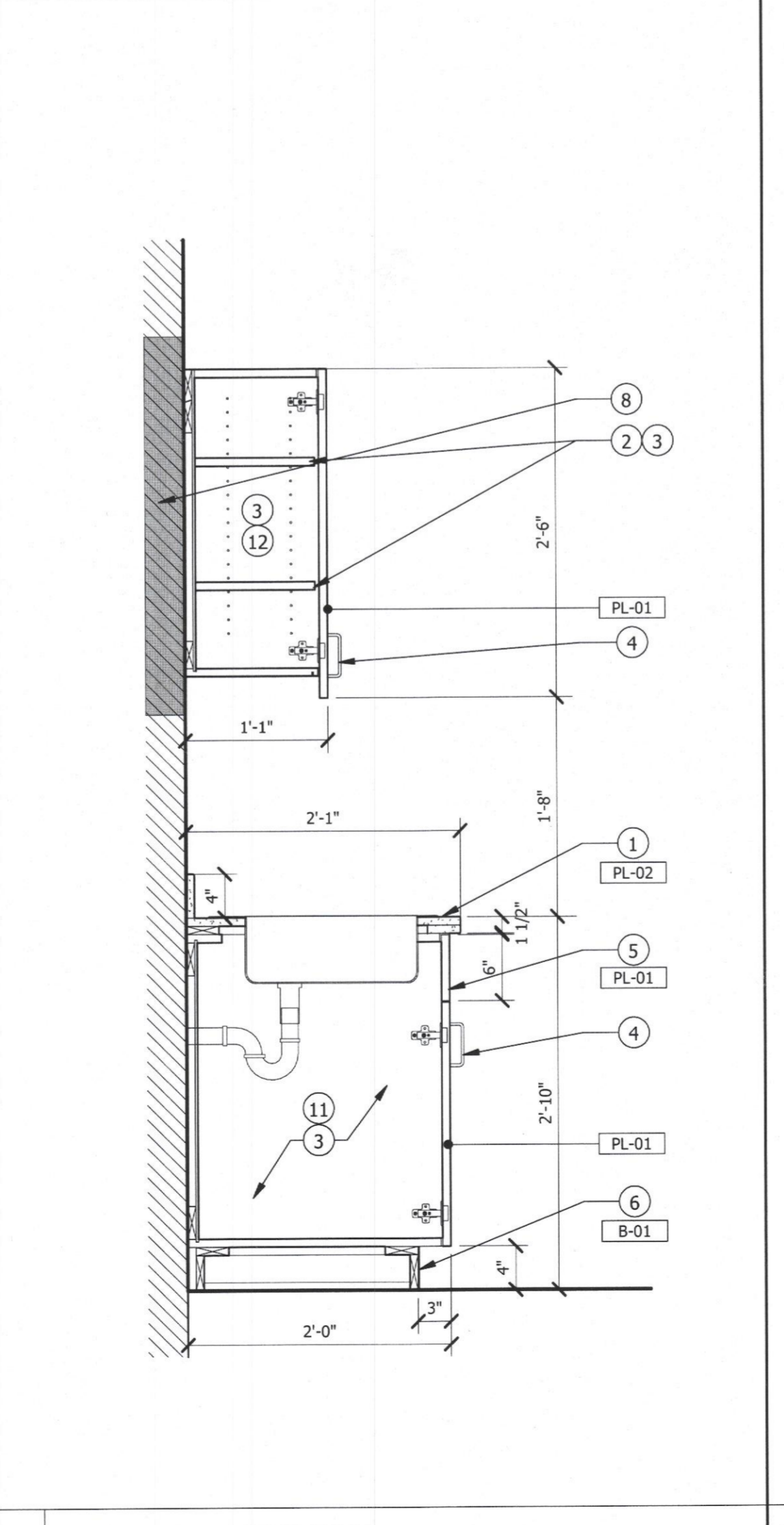
G13 MILLWORK ELEVATION 1/2" = 1'-0"



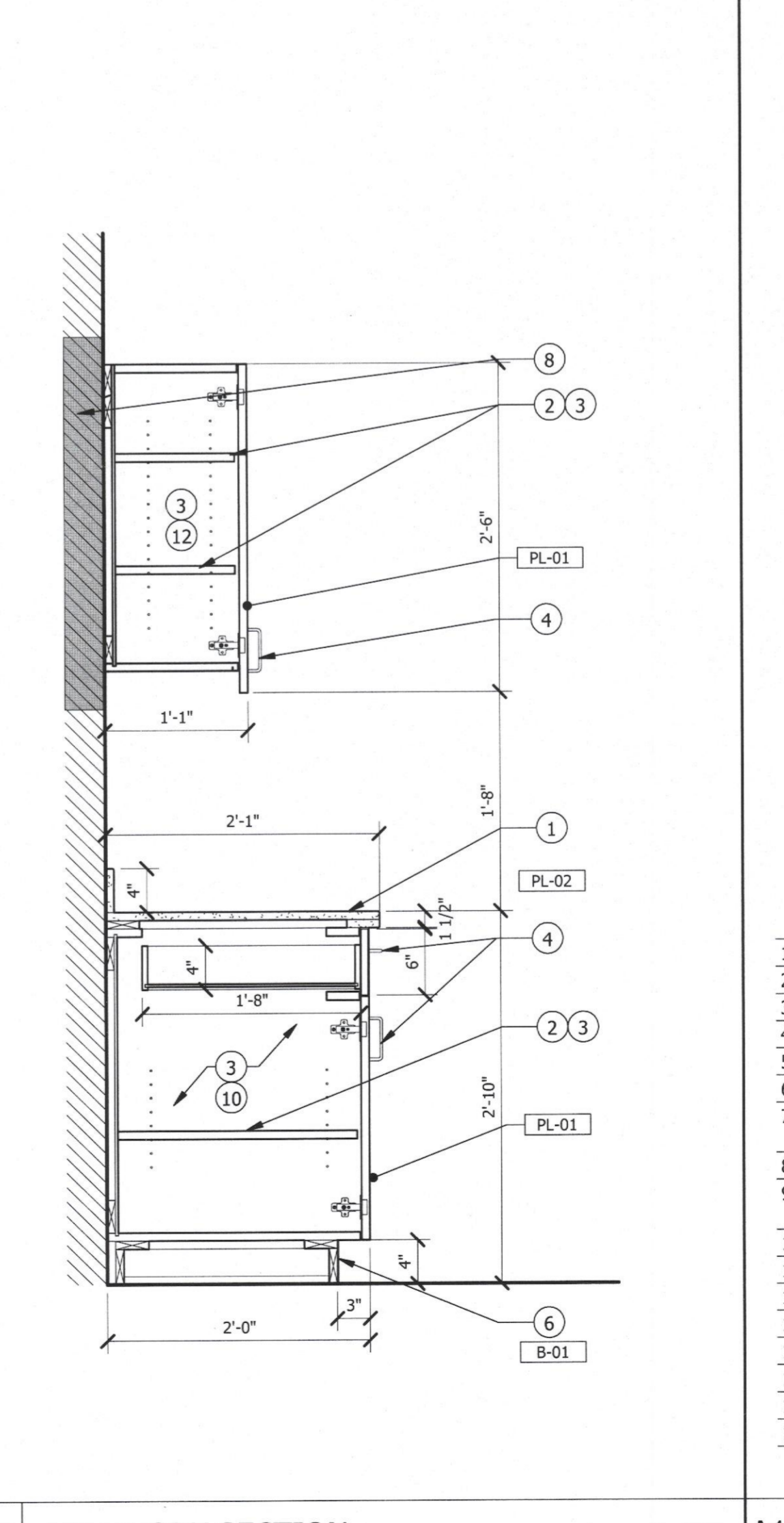
A4 MILLWORK SECTION 1" = 1'-0"



A7 MILLWORK SECTION 1" = 1'-0"



A10 MILLWORK SECTION 1" = 1'-0"



A13 MILLWORK SECTION 1" = 1'-0"

- 1 PLASTIC LAMINATE COUNTER AND BACKSPASH
- 2 ADJUSTABLE SHELF; PLASTIC LAMINATE ON 3/4" PLYWOOD
- 3 FORMALDEHYDE-FREE, BLACK MELAMINE ON 3/4" PLYWOOD
- 4 4" STAINLESS STEEL PULL HARDWARE
- 5 FALSE FRONT, PLASTIC LAMINATE ON 3/4" PLYWOOD
- 6 BASE AS SCHEDULED
- 7 METAL STANDARD AND BRACKETS - COLOR: WHITE. SHELVES TO BE PLASTIC LAMINATE
- 8 PROVIDE FRIT BLOCKING
- 9 1" GROMMET, FINISH: BLACK PLASTIC, COORD. PLACEMENT IN FIELD WITH OWNER
- 10 MILLWORK BASE CABINET WITH DRAWER AND ADJUSTABLE SHELF
- 11 MILLWORK SINK BASE CABINET WITH FALSE DRAWER FRONT
- 12 MILLWORK UPPER CABINET WITH ADJUSTIBLE SHELVING
- 13 2x2 NAILER OR METAL BRACKET SUPPORT
- 14 CONCEALED COUNTERTOP BRACKET C-18, A&M HARDWARE
- 15 PROVIDE PIPE WRAP AT ALL EXPOSED PLUMBING PIPES
- 16 OUTLINE OF ADA CLEARANCES, REF: SHEET G003
- 17 FILLER PANEL AS REQUIRED

A16 SHEET NOTES

DATE	DESCRIPTION	REVISIONS

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PERMITS	
BIDDING	
CONSTRUCTION	

PROJECT NO	16640
DRAWN	MML
DESIGNED	MML
CHECKED	HRS

MILLWORK
A601

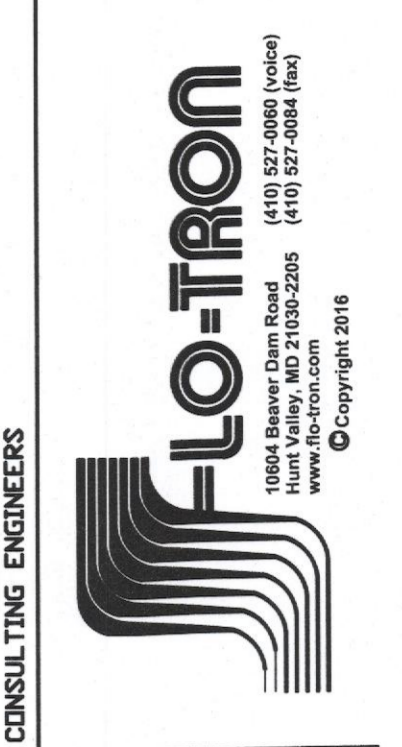
GENERAL NOTES (APPLY TO THE WORK PERFORMED UNDER DIVISION 15):

- 1. UNLESS OTHERWISE INDICATED, WORK SHOWN IS NEW WORK.
2. COORDINATE MECHANICAL WORK WITH ELECTRICAL WORK AND GENERAL TRADES.
3. NORTH ARROWS ON THESE DRAWINGS INDICATE PLAN NORTH ONLY.
4. LOCATIONS OF DRAINS AND CONNECTIONS TO FIXTURES AND EQUIPMENT SHALL BE COORDINATED WITH THE ARCHITECTURAL FLOOR PLANS...

MEP DRAWING LIST:

Table listing drawing numbers (M000-M300, E000-E601) and their corresponding descriptions such as 'MECHANICAL LEGEND, ABBREVIATIONS AND GENERAL NOTES', 'FLOOR PLAN - MECHANICAL DEMO', etc.

MECHANICAL LEGEND table with columns for SYMBOL, ABBREVIATION, and DESCRIPTION. It lists various plumbing symbols like backflow preventors, valves, drains, and pipe types.



A H AMMON HEISLER SACHS architects logo and contact information.

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REVISIONS table with columns for DATE, DESCRIPTION, and REVISIONS.

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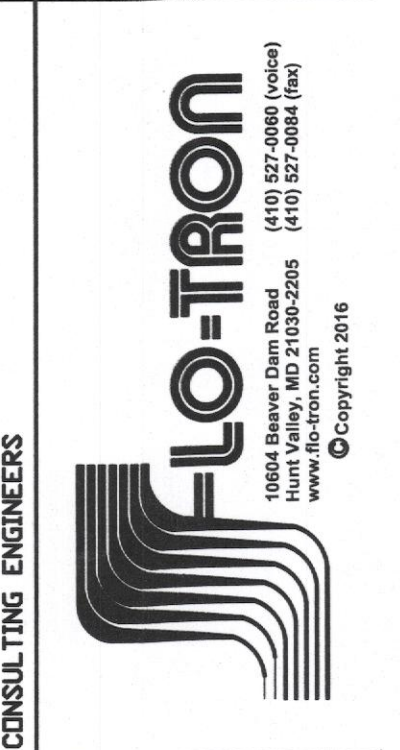
License Number: 33368
Expiration Date: 06/29/16

Project status table with columns for PRELIMINARY, PERMITS, BIDDING, CONSTRUCTION and corresponding dates.

MECHANICAL LEGEND ABBREVIATIONS AND GENERAL NOTES

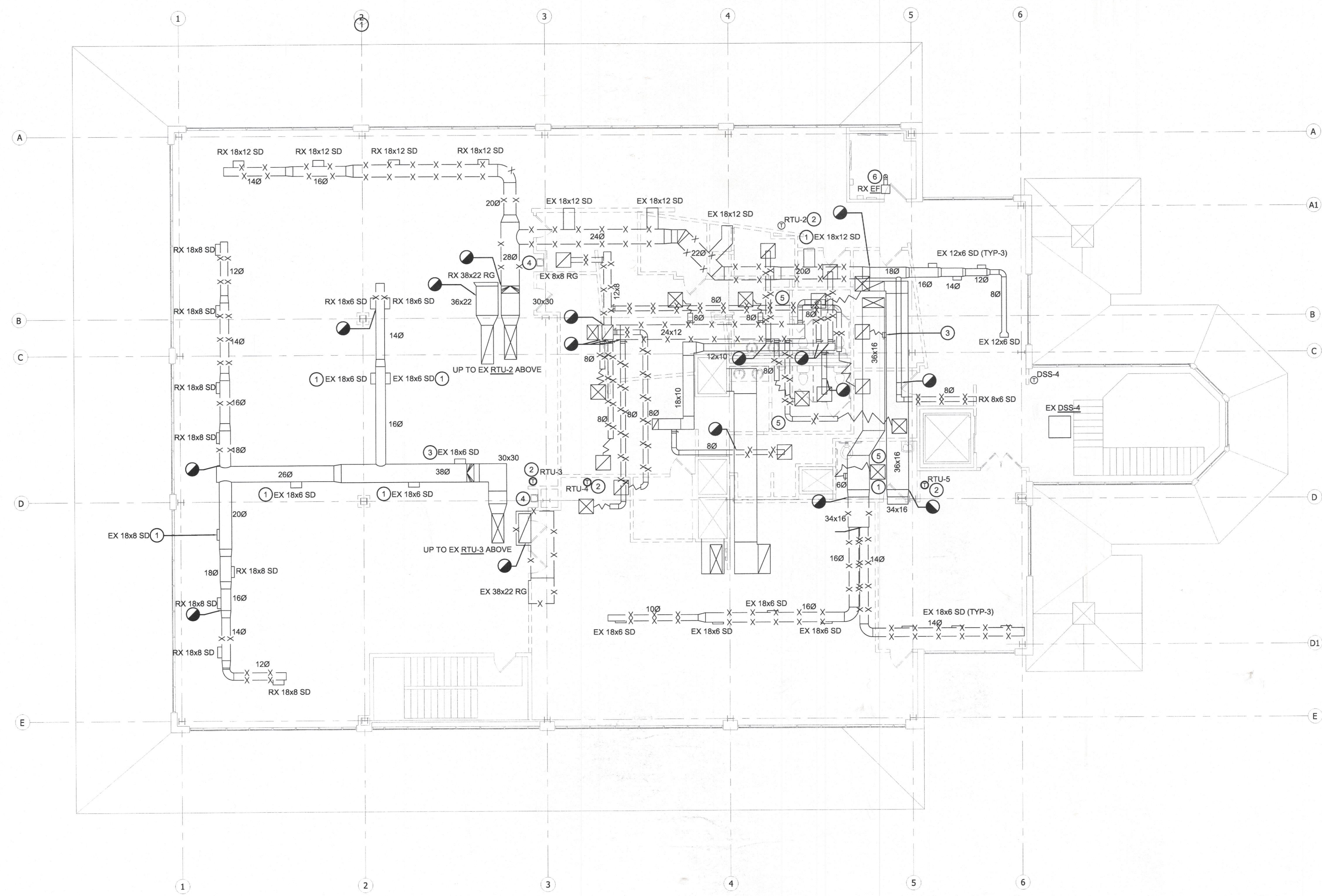
SPECIFIC NOTES (APPLY TO DRAWING M100 WHERE INDICATED):

- 1 REMOVE AND DISPOSE OF EXISTING SA DIFFUSER.
- 2 REMOVE AND DISPOSE OF EXISTING THERMOSTAT. LEAVE WIRES IN MANNER FOR EXTENSION TO NEW LOCATION.
- 3 REMOVE AND DISPOSE OF EXISTING SA DIFFUSER. CAP AND SEAL DUCTWORK.
- 4 REMOVE AND DISPOSE OF EXISTING WATER FOUNTAIN. CAP PIPING ABOVE CEILING AND/OR BELOW FLOOR.
- 5 REMOVE AND DISPOSE OF EXISTING BATHROOM FIXTURES. CAP PIPING AS NECESSARY FOR EXTENSION TO NEW FIXTURES AND/OR ABOVE/BELOW CEILING TO AVOID NEW ARCHITECTURAL WORK.
- 6 REMOVE EXISTING DUCT ASSOCIATED WITH EXISTING EE. EXISTING EXHAUST DUCT PENETRATION SHALL REMAIN IN MANNER FOR RE-USE AS CURB FOR REFRIGERANT PIPING AND CONDUIT.



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FLOOR PLAN - MECAHNICAL DEMO
 SCALE: 1/8" = 1'-0"

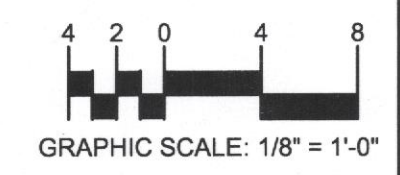
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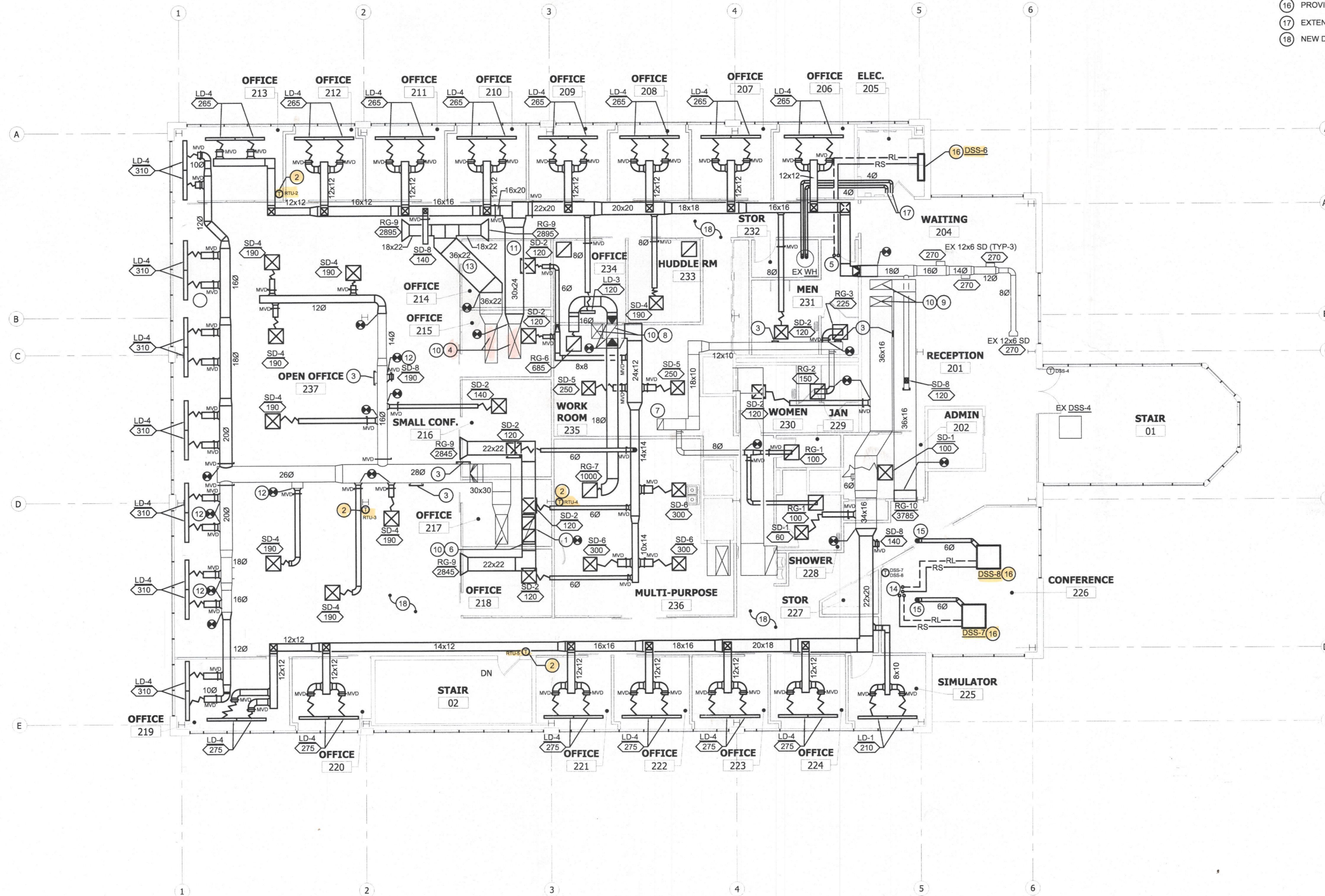
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PERMITS	
BIDDING	
CONSTRUCTION	
PROJECT NO	1600190
DRAWN	SLM
DESIGNED	SLM
CHECKED	SLM

FLOOR PLAN
 MECHANICAL DEMO
M100
 2 OF 14

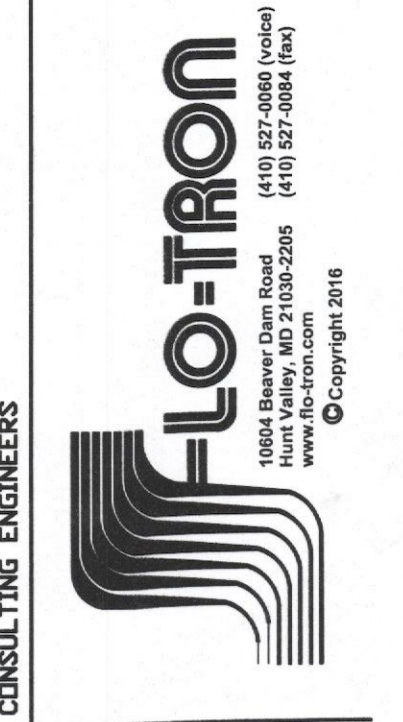


SPECIFIC NOTES (APPLY TO DRAWING M101 WHERE INDICATED):

- 1 TRANSITION FROM SIZE OF UNIT OPENING TO DUCT SPLIT INTO TWO 22x22 DUCTS. ELBOWS SHALL HAVE TURNING VANES. PROVIDE 1" SOUND LINING IN THE DUCTWORK FOR 20x20 FREE DUCT AREA.
- 2 FURNISH AND INSTALL NEW PROGRAMMABLE THERMOSTAT. EXTEND WIRE AS NECESSARY FROM PREVIOUS LOCATION.
- 3 CAP AND SEAL EXISTING DUCT
- 4 EXISTING DUCT UP TO EXISTING RTU-2 ABOVE. ADD 1" SOUND LINING IN BOTH SUPPLY AND RETURN FOR FIRST TEN (10) FEET IF NOT EXISTING.
- 5 EXTEND REFRIGERANT PIPING (MANUFACTURER'S RECOMMENDED SIZING) FROM DSS-6 UP THROUGH EXISTING ABANDON EXHAUST DUCT PENETRATION TO NEW CU-6
- 6 EXISTING DUCT UP TO EXISTING RTU-3 ABOVE.
- 7 EXISTING DUCT UP TO NEW EF-1 ABOVE. FURNISH AND INSTALL NEW EF-1 ON ROOF.
- 8 EXISTING DUCT UP TO EXISTING RTU-4 ABOVE.
- 9 EXISTING DUCT UP TO EXISTING RTU-5 ABOVE.
- 10 VERIFY EXISTING DUCT DETECTORS ARE IN WORKING ORDER. REPAIR/REPLACE AS NECESSARY FOR PROPER OPERATION.
- 11 30x24 DUCT WITH 1" SOUND LINING FOR 28x22 FREE DUCT AREA. TRANSITION AND SPLIT TO 16x20 AND 22x20 DUCTS WITH NO LINING.
- 12 CAP AND SEAL EXISTING DUCT AS NECESSARY AROUND CONNECTION TO NEW FOLLOWING REMOVAL OF EXISTING DIFFUSER(S).
- 13 36x22 DUCT WITH 1" SOUND LINING FOR 34x20 FREE DUCT AREA.
- 14 EXTEND REFRIGERANT PIPING (MANUFACTURER'S RECOMMENDED SIZING) FROM DSS-7 & DSS-8 UP THROUGH ROOF TO NEW CU-7
- 15 EXTEND VENTILATION DUCT UP AND THROUGH MANSARD ROOF SIDE WALL. TERMINATE WITH 90 DEGREE ELBOW LOOKING DOWN WITH WIRE MESH SCREEN
- 16 PROVIDE CONDENSATE PUMP WITH DSS EXTEND PUMP DISCHARGE TO NEAREST STORM WATER.
- 17 EXTEND AND MAKE CONNECTION TO EXISTING 40" FLUE AND FRESH AIR BELOW ROOF.
- 18 NEW DUCTWORK SHALL HAVE A GALVANNEAL FINISH FOR FUTURE PAINTING.



FLOOR PLAN - MECAHNICAL
SCALE: 1/8" = 1'-0"



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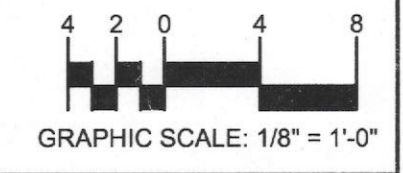
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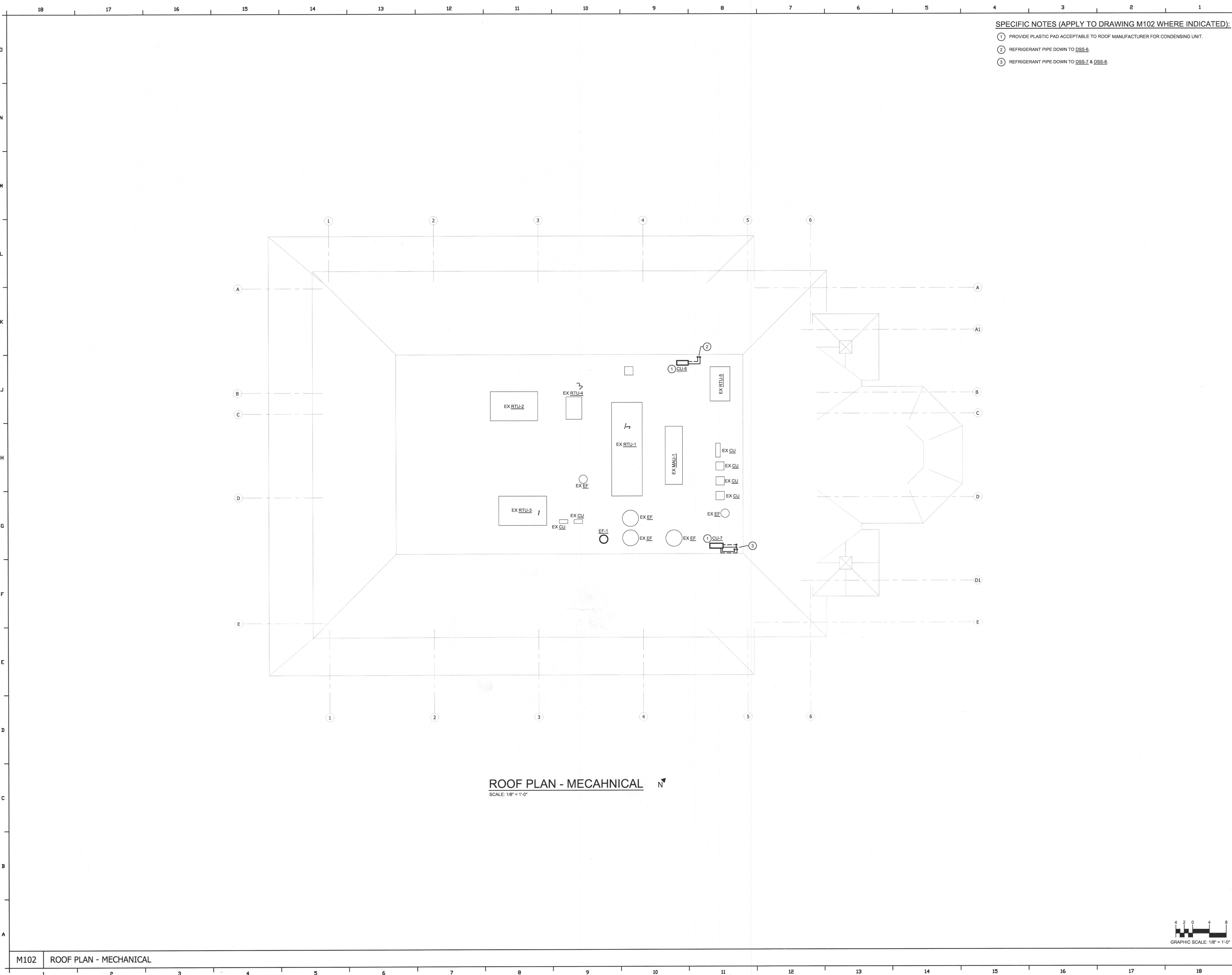
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CONSTRUCTION	
PROJECT NO	1600190
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FLOOR PLAN
MECHANICAL



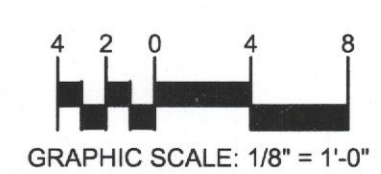
M101
3 OF 14



SPECIFIC NOTES (APPLY TO DRAWING M102 WHERE INDICATED):

- ① PROVIDE PLASTIC PAD ACCEPTABLE TO ROOF MANUFACTURER FOR CONDENSING UNIT.
- ② REFRIGERANT PIPE DOWN TO DSS-6.
- ③ REFRIGERANT PIPE DOWN TO DSS-7 & DSS-8.

ROOF PLAN - MECAHNICAL
 SCALE: 1/8" = 1'-0"



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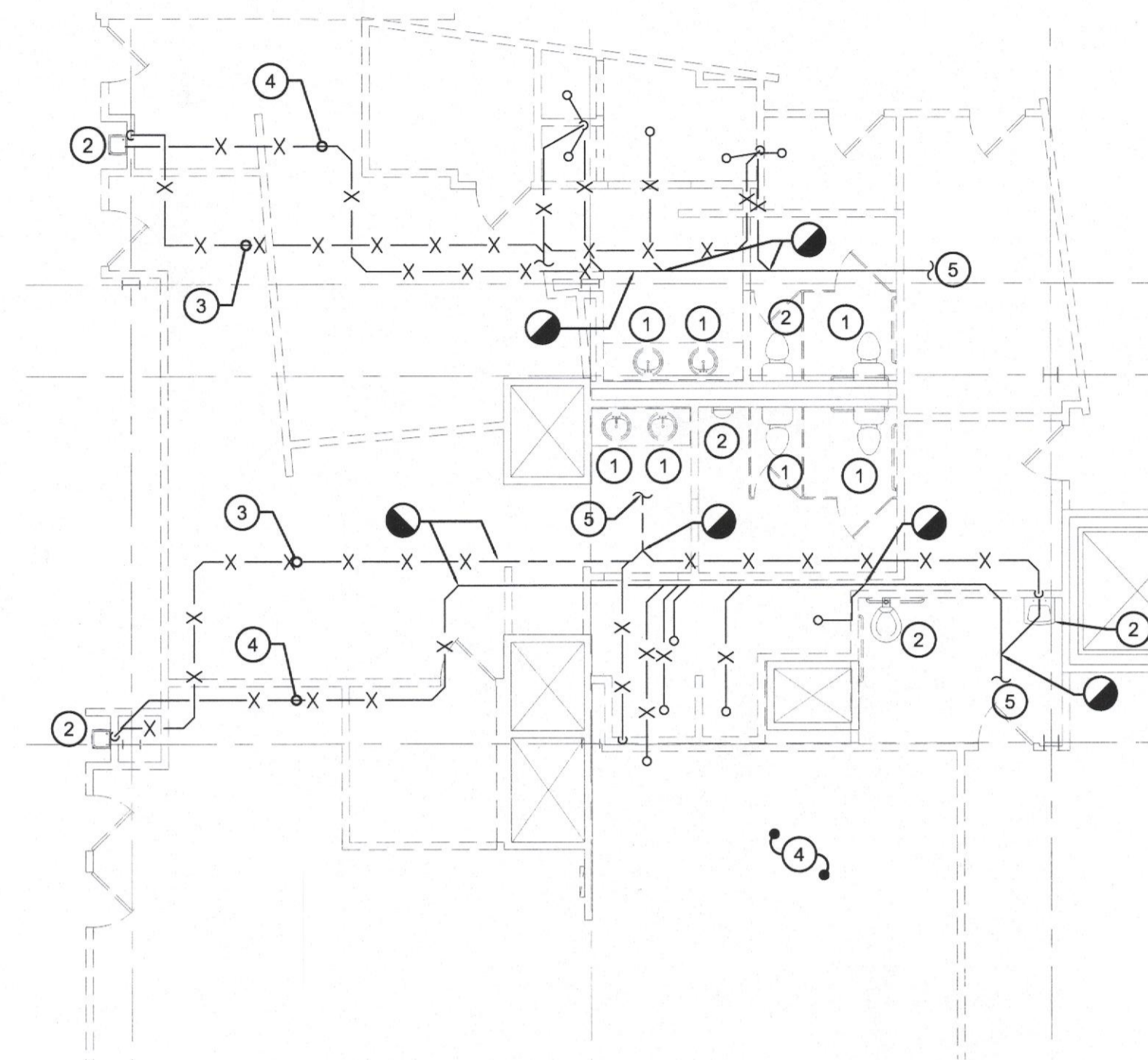
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PERMITS	06/24/16
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CONSTRUCTION	
PROJECT NO	1600190
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CHECKED	SLM

ROOF PLAN
 MECHANICAL

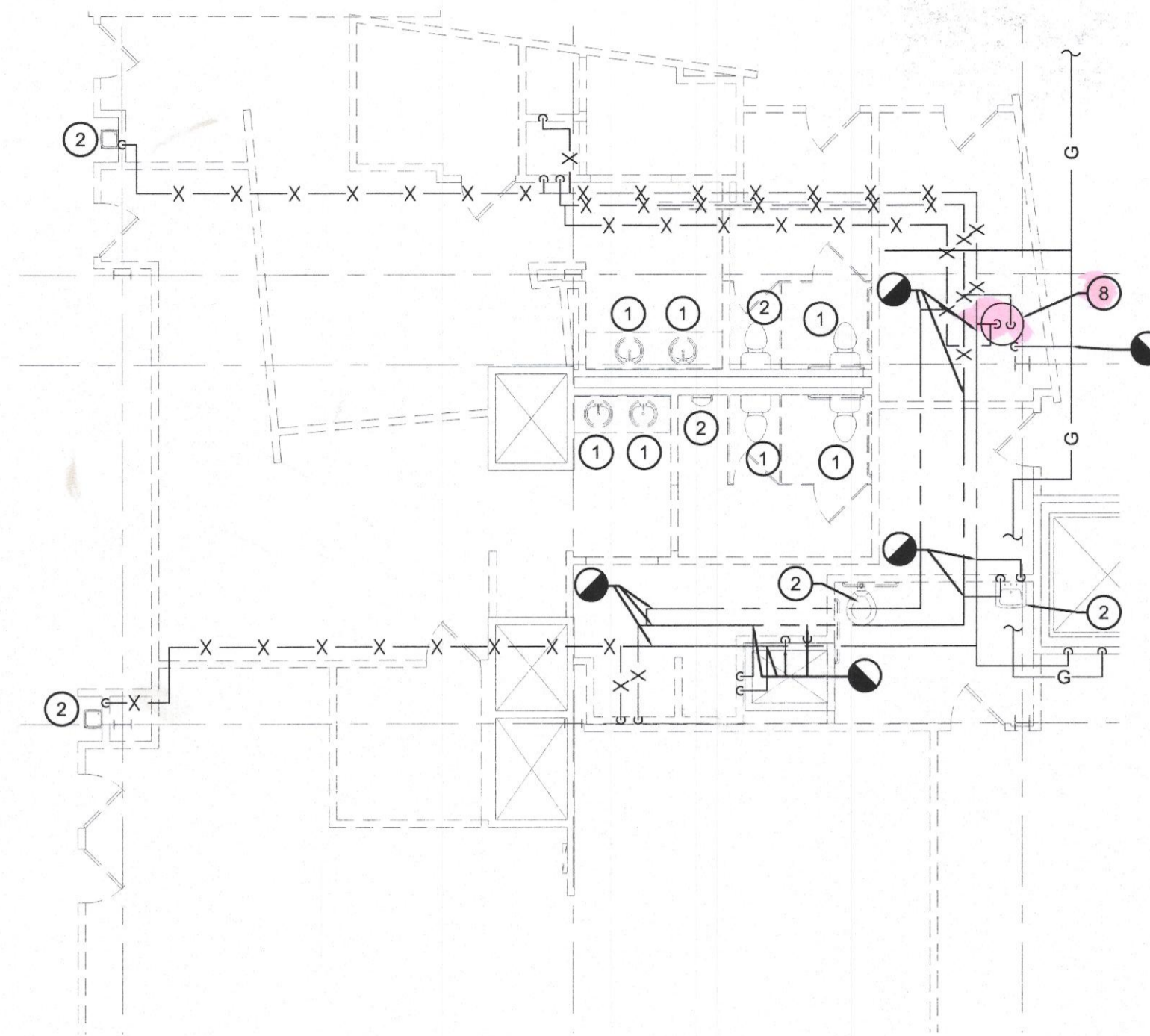
M102
 4 OF 14

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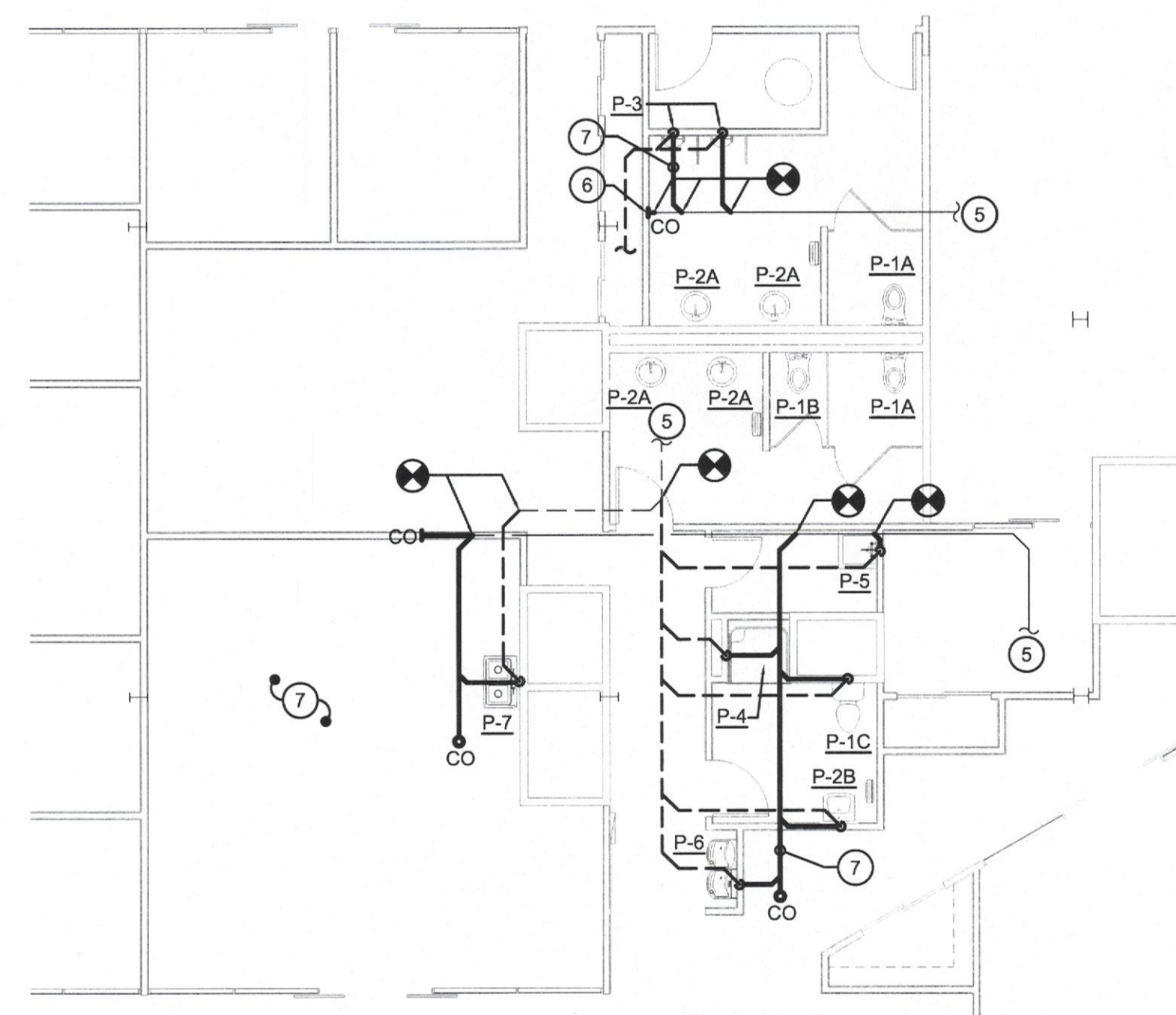
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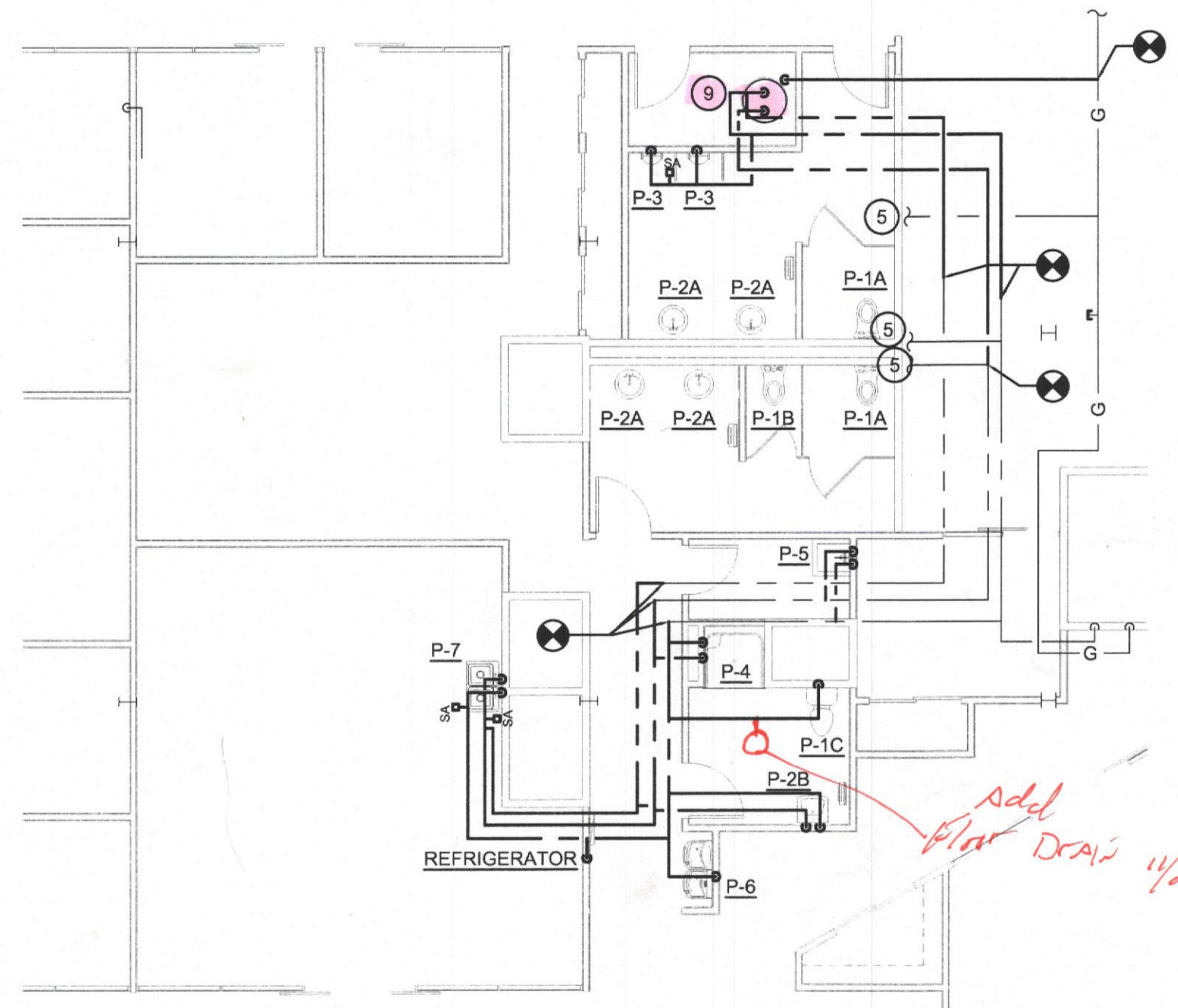
PARTIAL FLOOR PLAN - PLUMBING SANITARY/VENT DEMOLITION N
SCALE: 1/8" = 1'-0"



PARTIAL FLOOR PLAN - PLUMBING DOMESTIC WATER DEMOLITION N
SCALE: 1/8" = 1'-0"



PARTIAL FLOOR PLAN - PLUMBING SANITARY/VENT NEW WORK N
SCALE: 1/8" = 1'-0"



PARTIAL FLOOR PLAN - PLUMBING DOMESTIC WATER NEW WORK N
SCALE: 1/8" = 1'-0"

SPECIFIC NOTES (APPLY TO DRAWING M200 WHERE INDICATED):

- 1 REMOVE AND DISPOSE OF EXISTING PLUMBING FIXTURE. LEAVE PIPING IN MANNER TO CONNECT TO NEW FIXTURE.
- 2 REMOVE AND DISPOSE OF EXISTING PLUMBING FIXTURE. CUT AND CAP PIPING INSIDE WALL CAVITY OR DEMO PIPING ADDITIONALLY AS INDICATED.
- 3 REMOVE AND DISPOSE OF EXISTING VENT PIPING IN THE CEILING OF THE SECOND FLOOR AS INDICATED.
- 4 REMOVE AND DISPOSE OF EXISTING SANITARY PIPING IN THE CEILING OF THE FIRST FLOOR AS INDICATED. MODIFY EXISTING PROTECTIVE DRAIN PAN UNDER PIPING AS NECESSARY FOR CLEAN FINISHED PRODUCT AND AS NECESSARY TO ALLOW FOR NEW WORK. COORDINATE WITH BO BROOKS RESTAURANT FOR ACCESS.
- 5 EXISTING PIPING THAT WAS EXTENDED AND CONNECTED DURING A PREVIOUS PROJECT
- 6 FURNISH AND INSTALL NEW WALL CLEAN OUT.
- 7 NEW SANITARY PIPING SHALL BE IN THE CEILING OF THE FIRST FLOOR AS INDICATED. MODIFY EXISTING PROTECTIVE DRAIN PAN UNDER PIPING AS NECESSARY FOR CLEAN FINISHED PRODUCT AND AS NECESSARY TO ALLOW FOR NEW WORK. COORDINATE WITH BO BROOKS RESTAURANT FOR ACCESS.
- 8 RELOCATE EXISTING WH AS INDICATED. CUT AND CAP GAS, DCW, DHW, DHWR, AND ASSOCIATED ABOVE THE CEILING.
- 9 RELOCATE EXISTING WH. RELOCATE EXISTING EXPANSION TANK WITH EXISTING WH. PROVIDE AUXILIARY DRAIN PAN.

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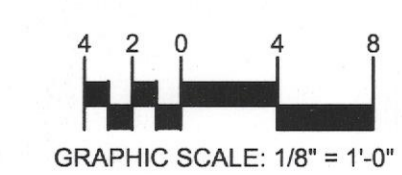
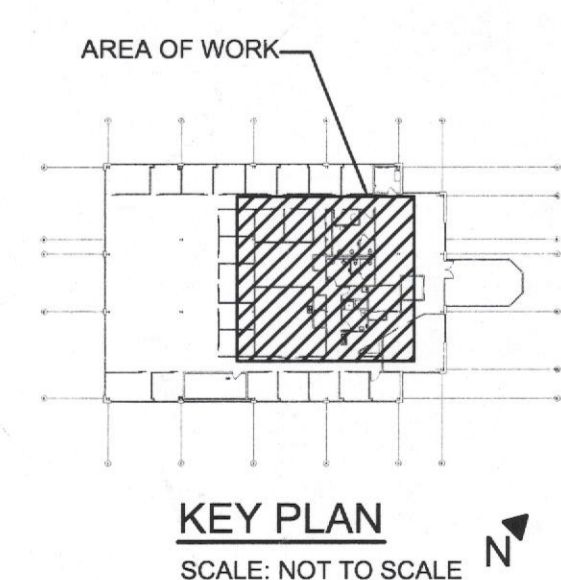
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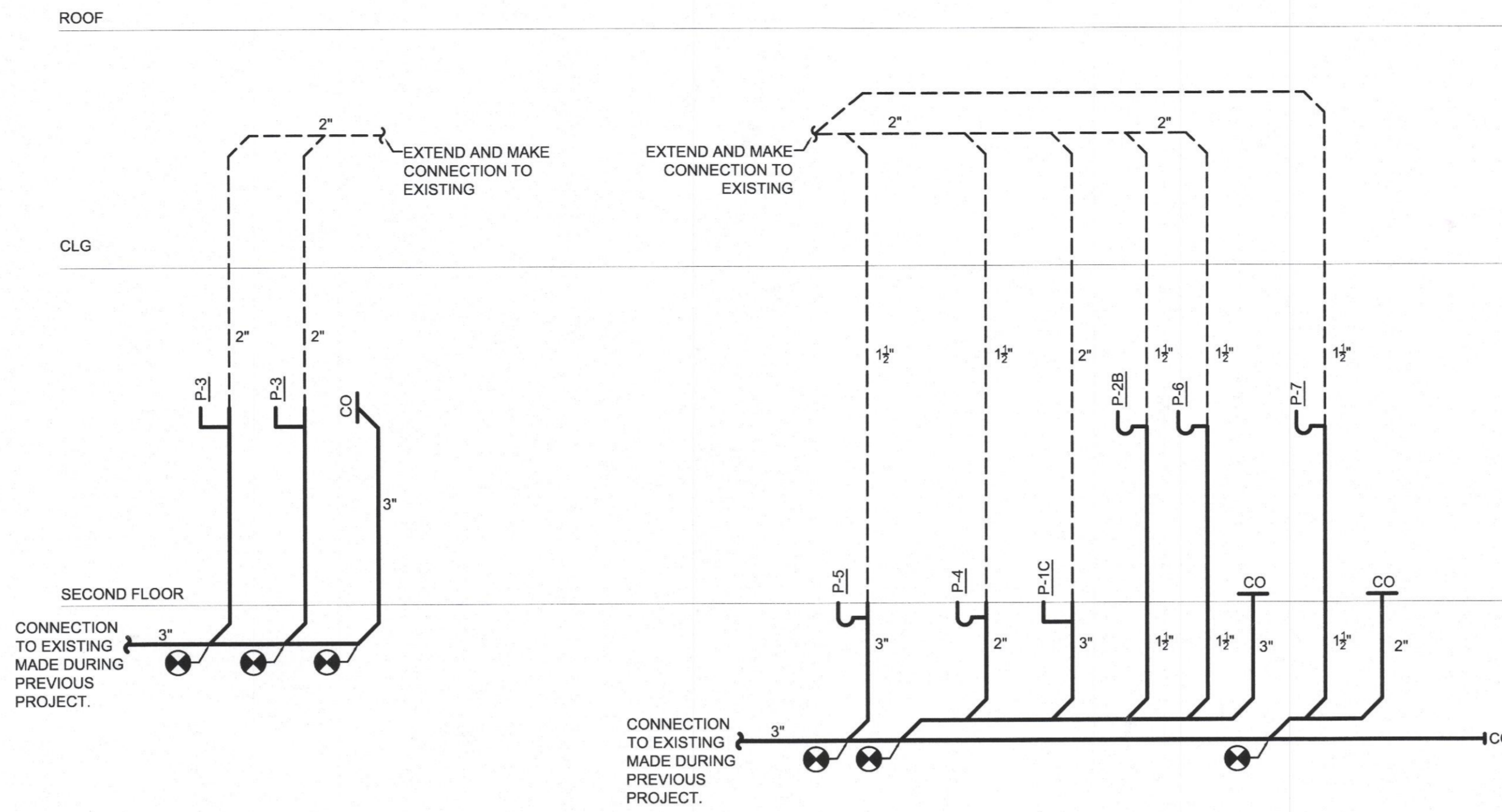
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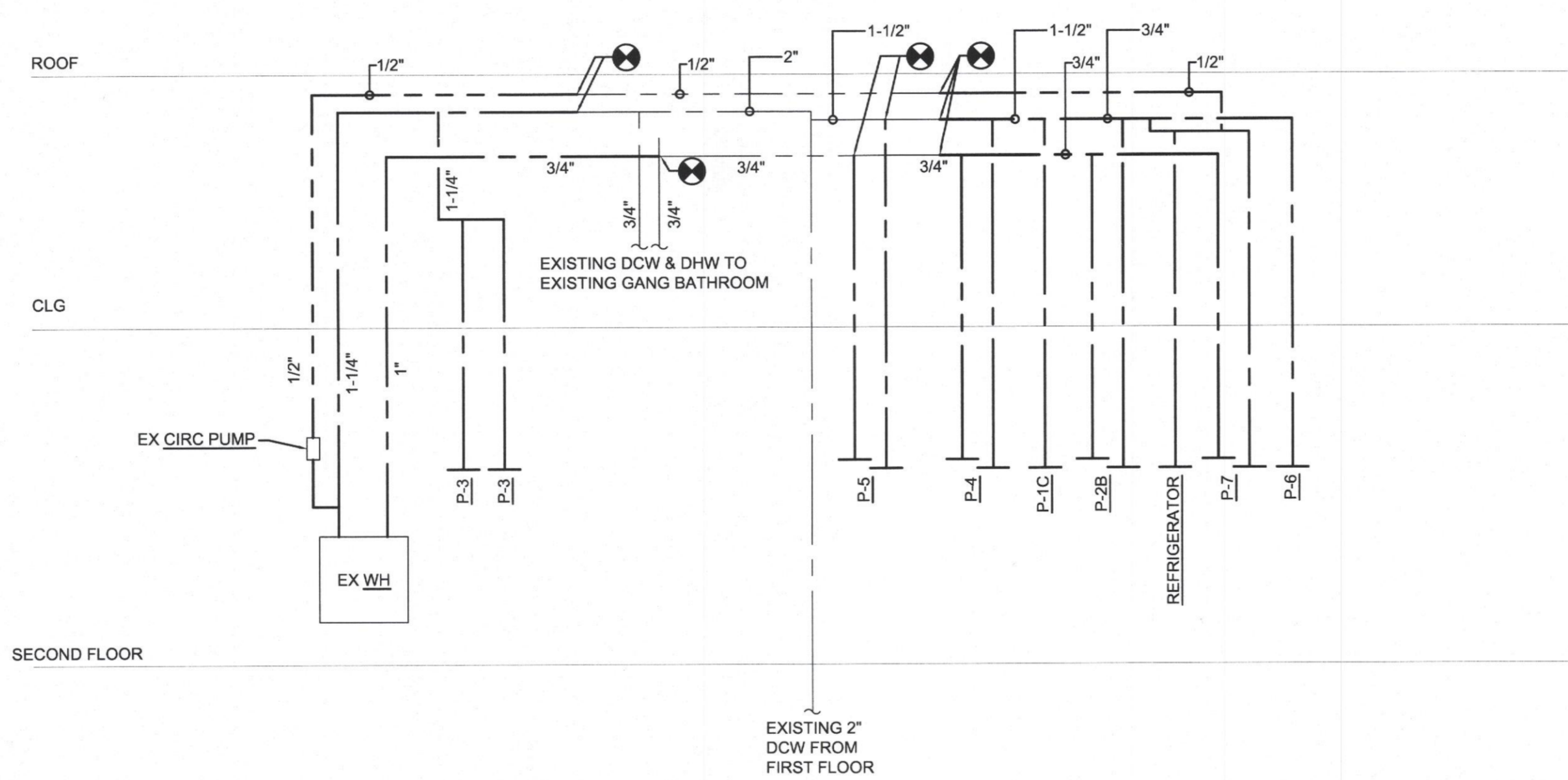
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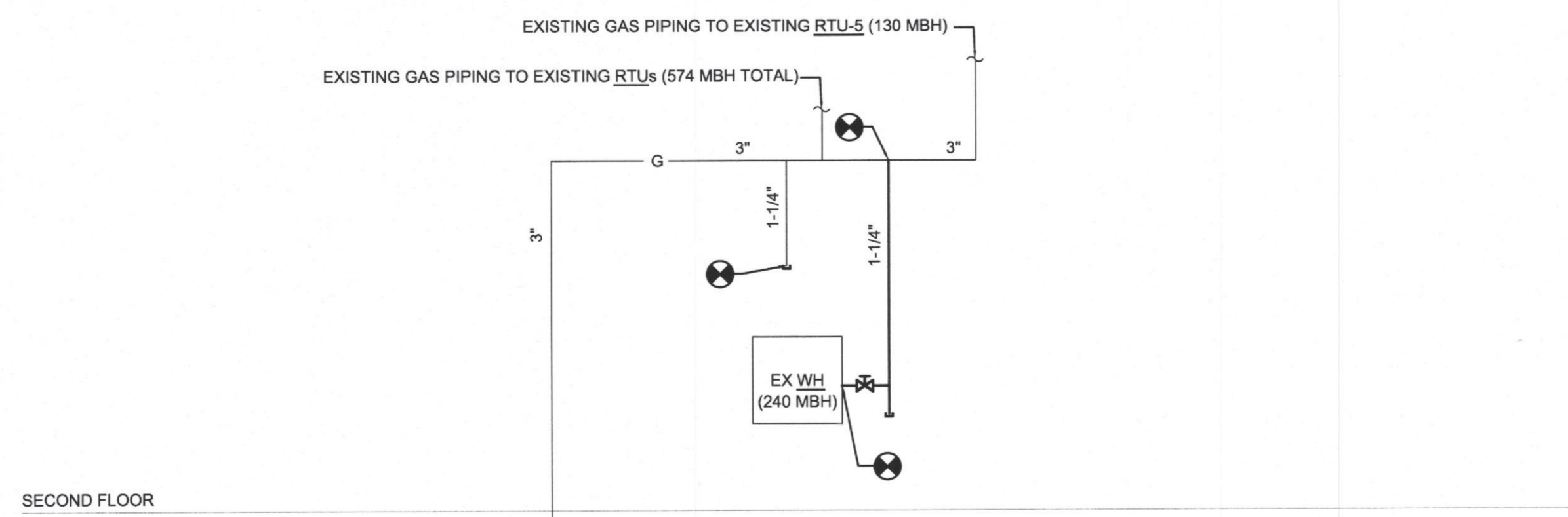
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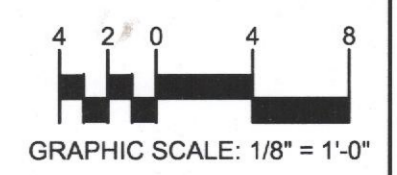
SANITARY RISER DIAGRAM
SCALE: NOT TO SCALE



DOMESTIC WATER RISER DIAGRAM
SCALE: NOT TO SCALE
NOTES: 1. PIPE SIZED PER 5 PSI DROP PER 100FT
2. PIPE SIZES TO INDIVIDUAL FIXTURES INDICATED ON FIXTURE SCHEDULE.



GAS RISER DIAGRAM
SCALE: NOT TO SCALE
NOTE: SMALL RELOCATION ONLY, EXISTING SIZES SHALL REMAIN



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GENERAL NOTES:

- 1. THE ELECTRICAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE DRAWINGS OF ALL OTHER TRADES ON THE PROJECT...
2. THE ELECTRICAL DRAWINGS ARE DIAGRAMMATIC IN NATURE AND AS SUCH SHALL NOT BE SCALED. REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF DEVICES AND EQUIPMENT AND DIMENSIONAL INFORMATION PRIOR TO ROUGH-IN. COORDINATE LOCATIONS OF MECHANICAL EQUIPMENT WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN OF SERVICE EQUIPMENT AND WIRING.
3. COORDINATE MOUNTING HEIGHTS OF ALL DEVICES WITH ARCHITECTURAL PLANS, SECTIONS, ELEVATIONS AND CASEWORK DRAWINGS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT ROUTING OF WIRING AND CONDUITS AND SHALL BE RESPONSIBLE FOR SIZING ALL BRANCH CIRCUIT WIRING TO LIMIT VOLTAGE DROP TO 3%. CONTRACTOR SHALL SIZE CONDUIT TO ACCOMMODATE WIRING PER NEC. 20 AMPERE CIRCUITS SHALL BE SIZED AS FOLLOWS:

Table with 4 columns: WIRING LENGTH, WIRE SIZE, 120 VOLT, 277 VOLT, MINIMUM CONDUIT SIZE. Rows include lengths from 0' to 240' and wire sizes #4 to #12.

NOTES: BRANCH CIRCUITS IN PANELBOARDS AND ALL DIMMED LIGHTING CIRCUITS SHALL HAVE DEDICATED NEUTRAL CONDUCTORS.

WIRING AND CONDUIT SIZES INDICATED IN PANEL SCHEDULES ARE MINIMUM ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT WIRING AND CONDUIT SIZES. CONTRACTOR SHALL PROVIDE SPLICE BLOCKS AND REDUCING PINS AS REQUIRED TO TERMINATE WIRING AND MAKE FINAL CONNECTIONS.

- 5. ELECTRICAL BOXES IN FIRE RATED PARTITIONS SHALL NOT EXCEED 16 SQUARE INCHES IN AREA (IF 4"x4") SHALL BE MADE OF STEEL, AND SHALL BE SUCH THAT THE CUMULATIVE AREA OF BOX "CUTOUTS" IN THE FIREWALL DOES NOT EXCEED 100 SQUARE INCHES PER 100 SQUARE FEET OF WALL AREA. ELECTRICAL BOXES ON OPPOSITE SIDES OF THE SAME FIREWALL SHALL BE SEPARATED BY A HORIZONTAL AND VERTICAL DISTANCE OF NOT LESS THAN 24 INCHES. THE ELECTRICAL CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS, AS NECESSARY, TO ELECTRICAL BOX LOCATIONS TO ENSURE COMPLIANCE WITH THIS REQUIREMENT SINCE BOX LOCATIONS ARE TYPICALLY NOT DIMENSIONED ON THE DRAWINGS. CONSULT ARCHITECT IF CLARIFICATION IS REQUIRED.

DEMOLITION NOTES:

- 1. IN AREAS INDICATED TO BE RENOVATED, REMOVE ALL EXISTING ELECTRICAL WORK UNLESS OTHERWISE NOTED. REMOVE ALL ASSOCIATED ELECTRICAL WORK BACK TO POINT OF SOURCE.
2. COORDINATE ALL ARCHITECTURAL, MECHANICAL, AND PLUMBING EQUIPMENT TO REMAIN, PRIOR TO START OF DEMOLITION OF ELECTRICAL CONNECTION TO EQUIPMENT.
3. WHERE WORK PASSES THROUGH THE RENOVATION AREA TO SERVE OTHER PORTIONS OF THE BUILDING, OR WORK IN THE RENOVATION AREA INDICATED TO REMAIN, IT SHALL BE SUITABLY RELOCATED AND THE SYSTEMS RESTORED TO NORMAL. COORDINATE ANY OUTAGES WITH OWNER 7 DAYS IN ADVANCE.
4. VERIFY ALL EXISTING CONSTRUCTION RELATED CONDITIONS PRIOR TO DEMOLITION AND NEW CONSTRUCTION.
5. COORDINATE EXTENT OF DEMOLITION WITH NEW CONSTRUCTION DRAWINGS. PERFORM ALL NECESSARY DEMOLITION IN ORDER TO FULLY AND PROPERLY INSTALL ALL NEW WORK, REGARDLESS OF WHETHER OR NOT IT IS SHOWN AND/OR NOTED.
6. REMOVE FROM THE BUILDING AND THE CONSTRUCTION SITE, ALL CONSTRUCTION DEBRIS AND/OR ITEMS NOT TO BE RETAINED BY THE OWNER. THE OWNER WILL RETAIN ALL SALVAGE THAT IS OF VALUE AS DESIGNATED BY THE OWNER'S REPRESENTATIVE. THE OWNER WILL DIRECT THE CONTRACTOR AS TO THE LOCATION OF STORAGE AREA FOR SALVAGED ITEMS.
7. COORDINATE ALL DEMOLITION AND CONSTRUCTION ACTIVITIES WITH THE OWNER TO MINIMIZE DISRUPTION OF THE NORMAL DAILY FUNCTIONING OF THE OWNERS OCCUPIED AREAS.
8. ALL RECESSES, HOLES AND BOX OPENINGS IN EXISTING WALLS FROM REMOVAL OF EQUIPMENT, FIXTURES AND DEVICES NOT COVERED BY NEW WORK SHALL BE INFILLED AND PATCHED.

ELECTRICAL LEGEND

(MOUNTING HEIGHTS ARE TO CENTERLINE OF DEVICES UNLESS OTHERWISE NOTED.)

LIGHTING

- FLUORESCENT FIXTURE - 2'x4', 2x2' UPPERCASE LETTER INDICATES FIXTURE TYPE. LOWERCASE LETTER INDICATES CONTROL SWITCH DESIGNATION.
FLUORESCENT FIXTURE - 1'x4', WALL BRACKET, STRIP LIGHT
LIGHTING FIXTURE - CEILING, WALL MOUNTED

- EXIT SIGN - CEILING MOUNTED, WALL MOUNTED; SHADING INDICATES ILLUMINATED FACE, ARROW INDICATES DIRECTION, MOUNT HALF-WAY BETWEEN TOP OF DOOR AND CEILING. CONNECT AHEAD OF LOCAL SWITCHING.
EMERGENCY BATTERY UNIT - MOUNT HALF-WAY BETWEEN TOP OF DOOR AND CEILING CONNECT AHEAD OF LOCAL SWITCHING.

SWITCHES

- LOW-VOLTAGE DIMMING SWITCH - M.H. 4'-0" A.F.F. UNLESS OTHERWISE NOTED
LOW-VOLTAGE DIMMING SWITCH - M.H. 4'-0" A.F.F. UNLESS OTHERWISE NOTED
VACANCY SENSOR, LOW VOLTAGE WITH POWER PACK DUAL TECHNOLOGY, CEILING MOUNTED. SET TO AUTOMATIC OFF, MANUAL ON.
LINE-VOLTAGE VACANCY SENSOR WALL SWITCH, WALL MOUNTED 48" AFF. SET TO AUTOMATIC OFF, MANUAL ON. PROVIDE ON/OFF AND UP/DOWN DIMMING SWITCHES. WATTSSTOPPER PW-311 OR EQUAL.

POWER

- DOUBLE DUPLEX RECEPTACLE - 20 AMP., 2 POLE, 3 WIRE, GROUNDING TYPE, NEMA 5-20R. MOUNT 1'-6" A.F.F., UNLESS OTHERWISE NOTED
DUPLEX RECEPTACLE - 20 AMP., 2 POLE, 3 WIRE, GROUNDING TYPE, NEMA 5-20R. MOUNT 1'-6" A.F.F., UNLESS OTHERWISE NOTED. SUBSCRIPT "GFI" INDICATES GROUND FAULT INTERRUPTING, SUBSCRIPT "C" INDICATES 42" OR 8" ABOVE COUNTER.
DUPLEX RECEPTACLE - 20 AMP., 2 POLE, 3 WIRE, GROUND FAULT INTERRUPTING TYPE, NEMA 5-20R. MOUNT 42" OR 8" ABOVE COUNTER.
TELEPHONE/DATA OUTLET, MOUNT 1'-6" A.F.F. U.O.N.

- JUNCTION BOX - CEILING, WALL MOUNTED.
SIMPLEX RECEPTACLE - RATING AS INDICATED ON PLAN. MOUNT 1'-6" A.F.F., UNLESS OTHERWISE NOTED
PROJECTOR DROP. REFER TO DETAIL FOR POWER/DATA REQUIREMENTS AND MOUNTING.

- PANELBOARD - LIGHTING, M.H. 6'-6" A.F.F. TO TOP OF PANEL
SAFETY DISCONNECT SWITCH-SIZE AS INDICATED ON SCHEDULE, FUSED, NON-FUSED, ENCLOSURE SHALL BE NEMA 1 UNLESS NOTED OTHERWISE, PROVIDE 3P, 30A NON-FUSED AND 3P, 30A FUSED AT 30A, UNLESS OTHERWISE NOTED, M.H. 9'-6" A.F.F.

- MOTOR
REINSTALL EXISTING PADDLE FAN. CLEAN AFTER REINSTALLATION.

CONDUIT

- HOMERUN TO PANELBOARD, NUMBER OF ARROWHEADS INDICATE NUMBER OF CIRCUITS; 2#12, 1#12GW IN 3/4" C.
CONDUIT OR WIRE CONCEALED IN CEILING SPACE, WALL OR SURFACE MOUNTED WHERE NO CEILING EXISTS
CONDUIT OR WIRE INSTALLED BELOW SLAB OR BELOW FLOOR.

FIRE ALARM

- FIRE ALARM MANUAL PULL STATION - M.H. 4'-0" A.F.F.
FIRE ALARM STROBE UNIT - M.H. 80" AFF OR 6" BELOW CEILING, WHICHEVER IS LOWER. NUMBER INDICATES CANDELA RATING
FIRE ALARM HORN AND STROBE UNIT - M.H. 80" AFF OR 6" BELOW CEILING, (TO BOTTOM OF DEVICE) WHICHEVER IS LOWER. NUMBER INDICATES CANDELA RATING

MISCELLANEOUS

- DENOTES REFERENCE TO DRAWING NOTE
ITEMS SHOWN SOLID/HEAVY ARE NEW WORK
ITEMS SHOWN SOLID/LIGHT ARE EXISTING TO REMAIN
ITEMS SHOWN DASHED/HEAVY ARE TO BE REMOVED

INTERIOR LIGHTING FIXTURE SCHEDULE

Table with columns: TYPE, DESCRIPTION, MANUFACTURER OR EQUAL, CATALOG NO., VOLTS, INPUT WATTS, LAMP, MOUNTING, REMARKS. Includes rows for various LED troffers, recessed fixtures, and emergency lighting.

Logos for FLO-TRON CONSULTING ENGINEERS and AMON HEISLER SACHS architects. Includes address: 1 N. CHARLES STREET - MEZZANINE 1 BALTIMORE, MARYLAND 21201.

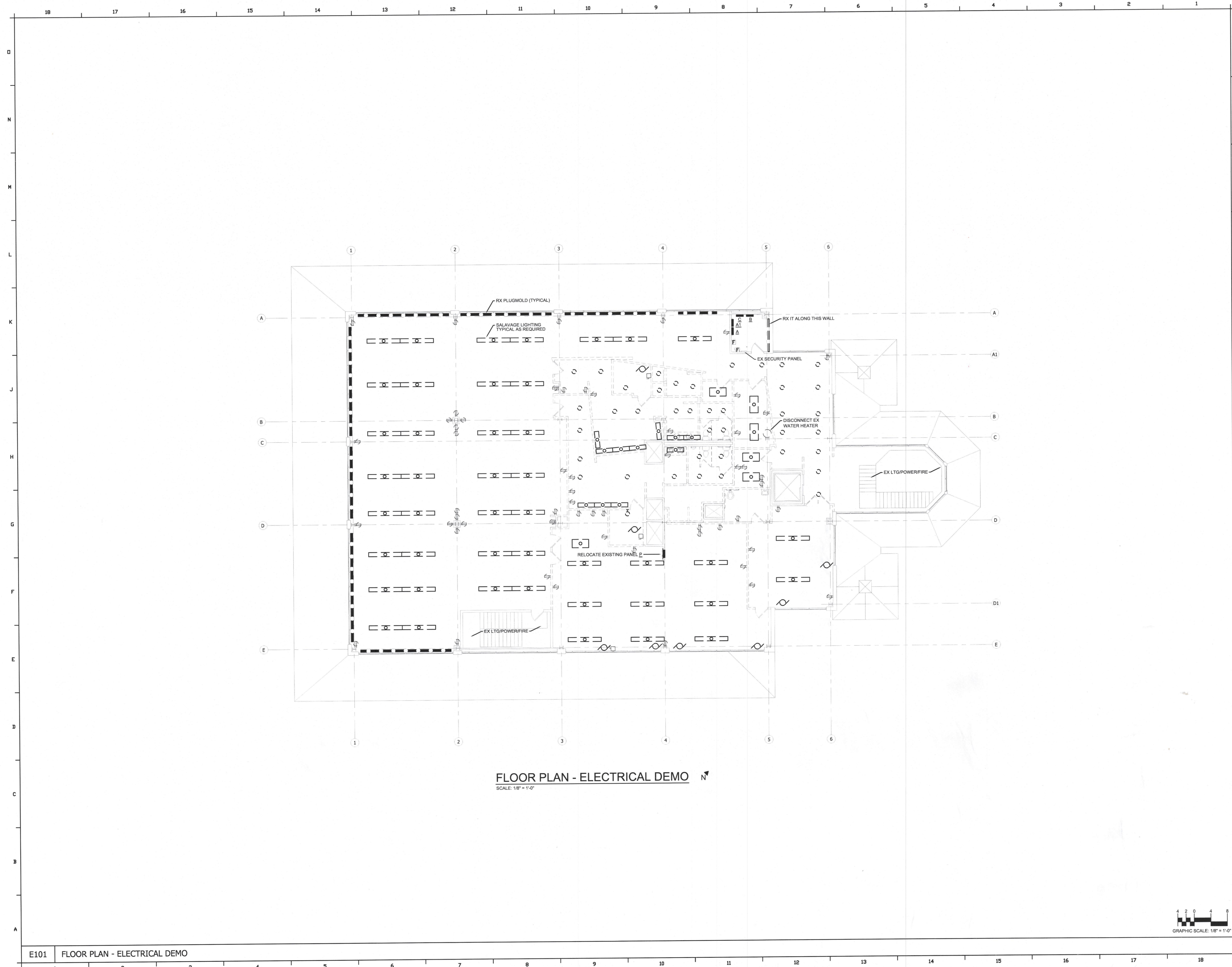
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Table with columns: DATE, DESCRIPTION, REVISIONS.

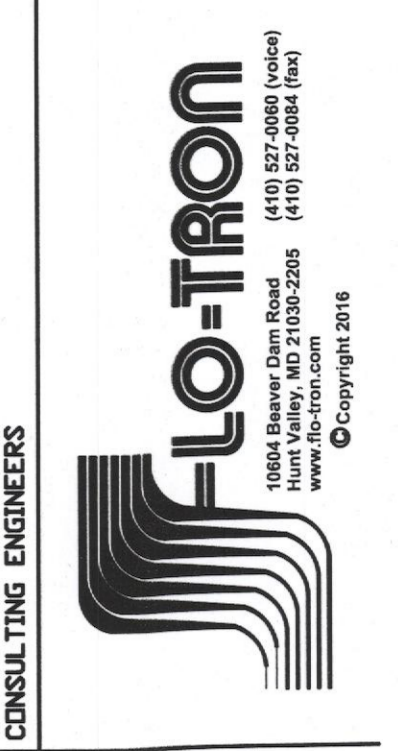
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ELECTRICAL LEGEND ABBREVIATIONS AND GENERAL NOTES. E000 8 OF 14



FLOOR PLAN - ELECTRICAL DEMO
 SCALE: 1/8" = 1'-0"



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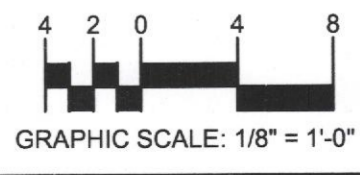
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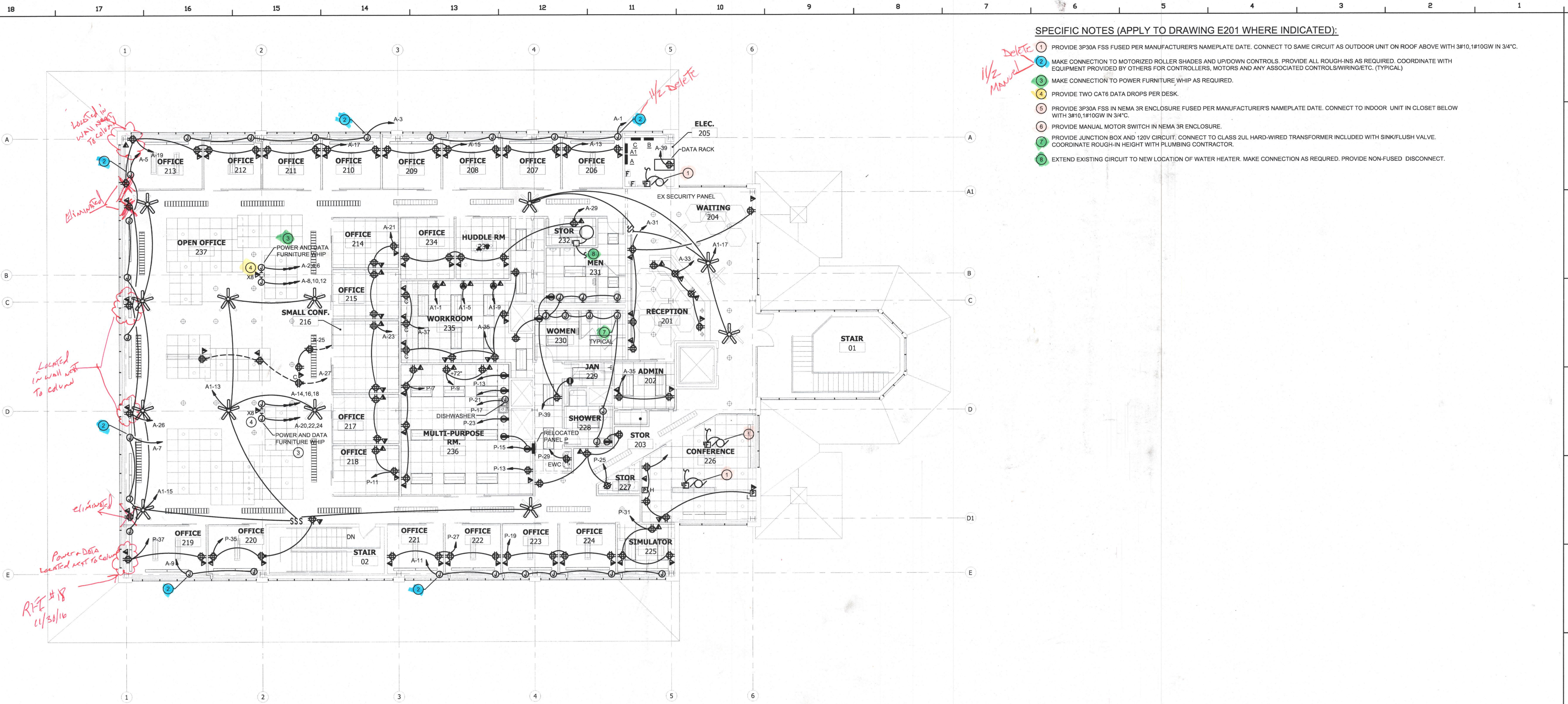
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 PERMITS
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 CONSTRUCTION

PROJECT NO: 1600190
 DRAWN: SLM
 DESIGNED: SLM
 CHECKED: SLM

FLOOR PLAN
 ELECTRICAL DEMO

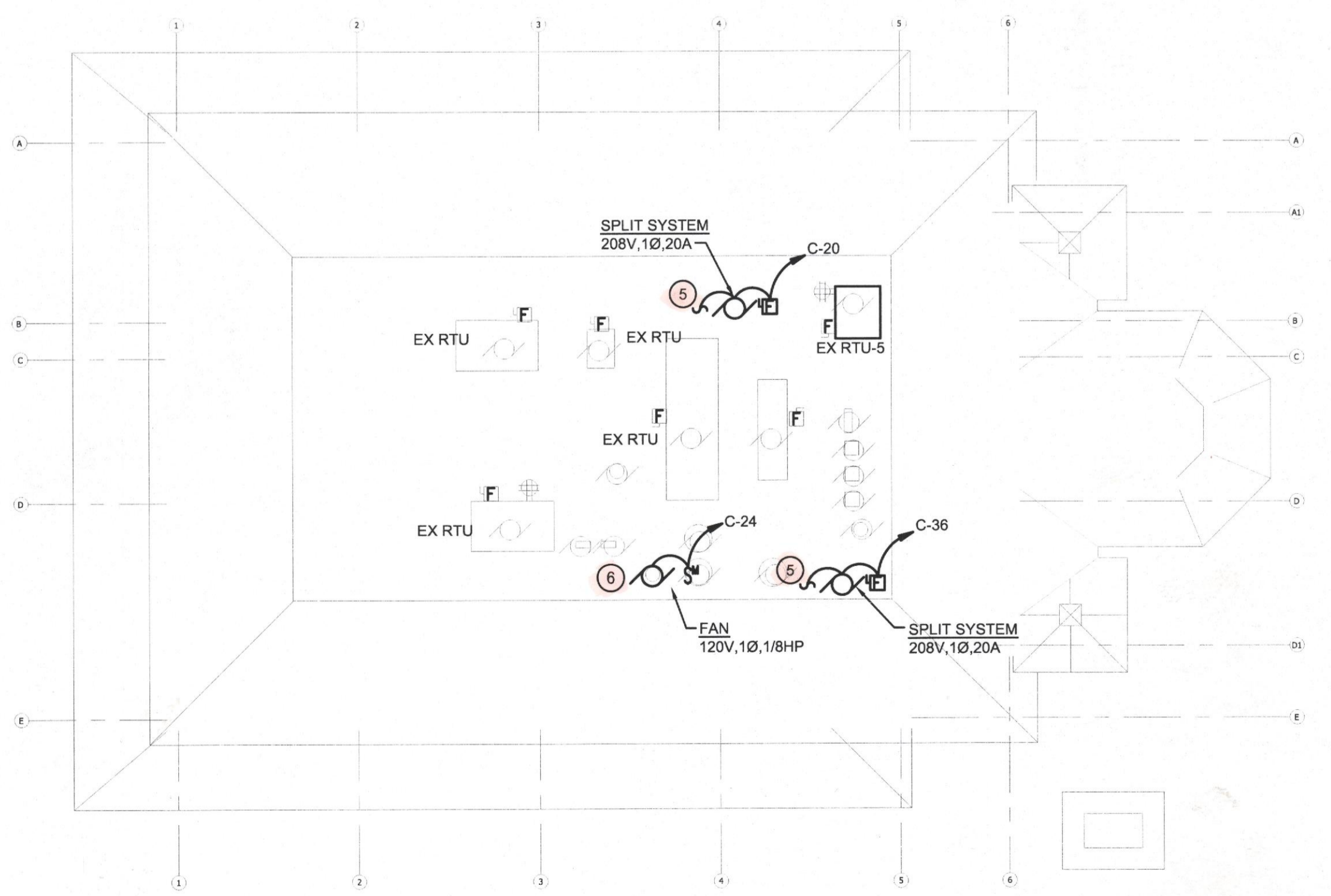
E101
 9 OF 14





- SPECIFIC NOTES (APPLY TO DRAWING E201 WHERE INDICATED):**
- 1 PROVIDE 3P30A FSS FUSED PER MANUFACTURER'S NAMEPLATE DATE. CONNECT TO SAME CIRCUIT AS OUTDOOR UNIT ON ROOF ABOVE WITH 3#10, 1#10GW IN 3/4".
 - 2 MAKE CONNECTION TO MOTORIZED ROLLER SHADES AND UP/DOWN CONTROLS. PROVIDE ALL ROUGH-INS AS REQUIRED. COORDINATE WITH EQUIPMENT PROVIDED BY OTHERS FOR CONTROLLERS, MOTORS AND ANY ASSOCIATED CONTROLS/WIRING(ETC. (TYPICAL)
 - 3 MAKE CONNECTION TO POWER FURNITURE WHIP AS REQUIRED.
 - 4 PROVIDE TWO CAT6 DATA DROPS PER DESK.
 - 5 PROVIDE 3P30A FSS IN NEMA 3R ENCLOSURE FUSED PER MANUFACTURER'S NAMEPLATE DATE. CONNECT TO INDOOR UNIT IN CLOSET BELOW WITH 3#10, 1#10GW IN 3/4".
 - 6 PROVIDE MANUAL MOTOR SWITCH IN NEMA 3R ENCLOSURE.
 - 7 PROVIDE JUNCTION BOX AND 120V CIRCUIT. CONNECT TO CLASS 2UL HARD-WIRED TRANSFORMER INCLUDED WITH SINK/FLUSH VALVE. COORDINATE ROUGH-IN HEIGHT WITH PLUMBING CONTRACTOR.
 - 8 EXTEND EXISTING CIRCUIT TO NEW LOCATION OF WATER HEATER. MAKE CONNECTION AS REQUIRED. PROVIDE NON-FUSED DISCONNECT.

FLOOR PLAN - POWER AND SPECIAL SYSTEMS
SCALE: 1/8" = 1'-0"



ROOF PLAN - POWER
SCALE: 1/16" = 1'-0"
NOTE: ALL ROOF MOUNTED EQUIPMENT IS EXISTING TO REMAIN UON.

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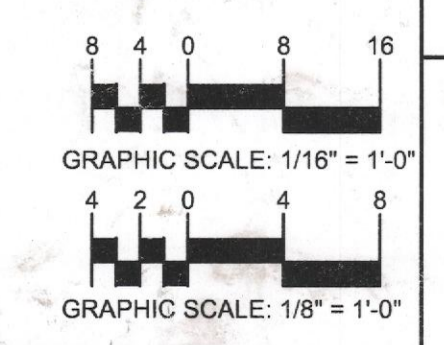
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DATE	DESCRIPTION	REVISIONS

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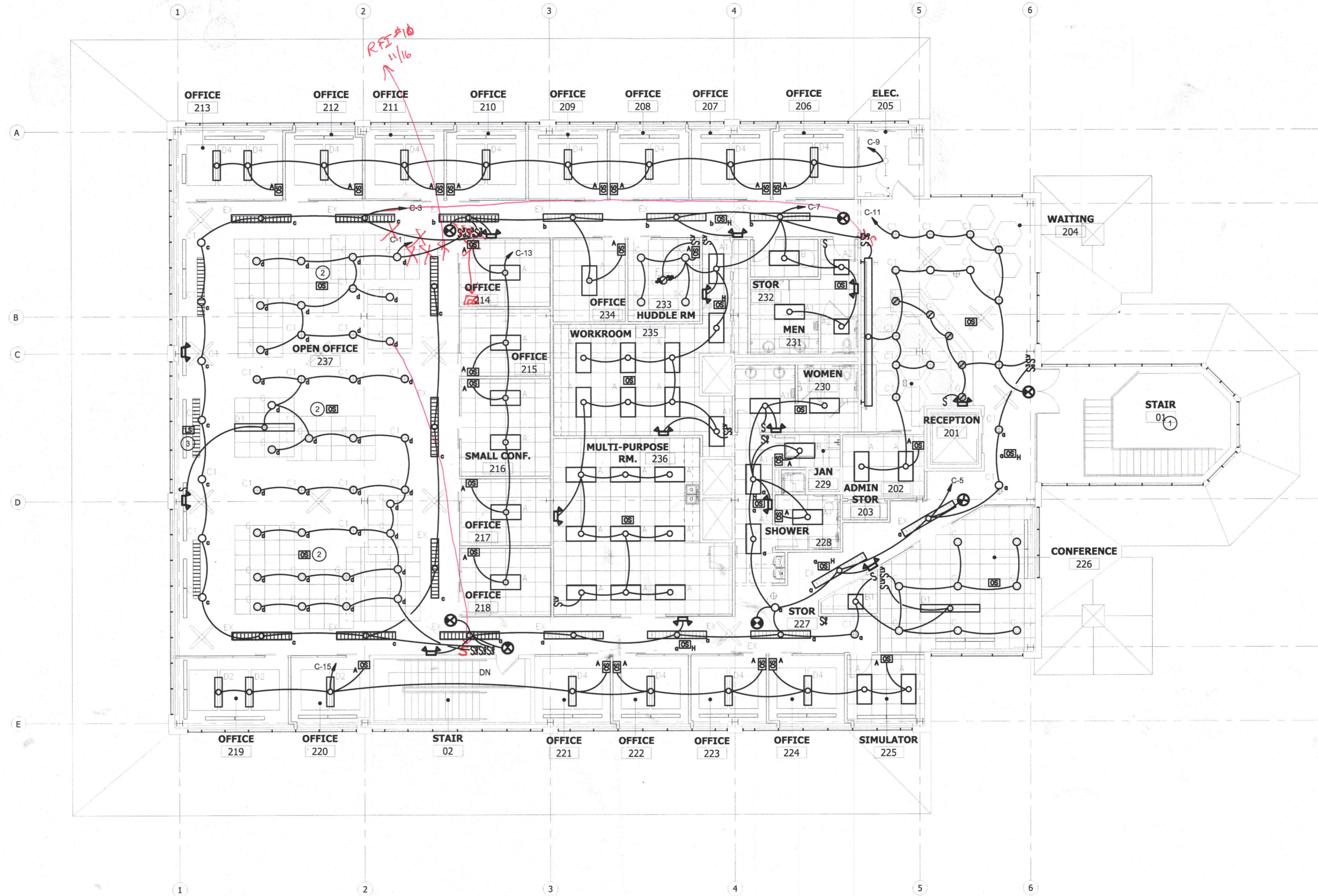
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PERMITS	
BIDDING	
CONSTRUCTION	
PROJECT NO	1600190
DRAWN	SLM
DESIGNED	SLM
CHECKED	SLM



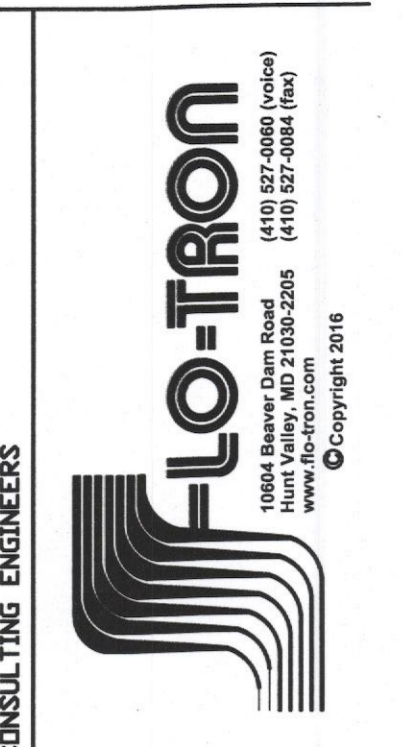
FLOOR PLAN POWER AND SPECIAL SYSTEMS
E201
10 OF 14

SPECIFIC NOTES (APPLY TO DRAWING E301 WHERE INDICATED):

- ① UPON COMPLETION OF CONSTRUCTION, CLEAN AND RELAMP ALL LIGHTING FIXTURES IN THIS AREA.
- ② CONTROLS CIRCUITS C-1 AND C-3. PROVIDE POWER PACKS AS REQUIRED.
- ③ PROVIDE DAYLIGHT SENSOR TO CONTROL 'C'1 FIXTURES WITH 'C' SUBSCRIPTS.



FLOOR PLAN - LIGHTING
SCALE: 1/8" = 1'-0"



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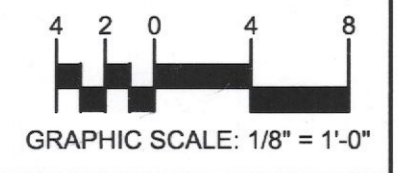
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FLOOR PLAN LIGHTING
E301
11 OF 14



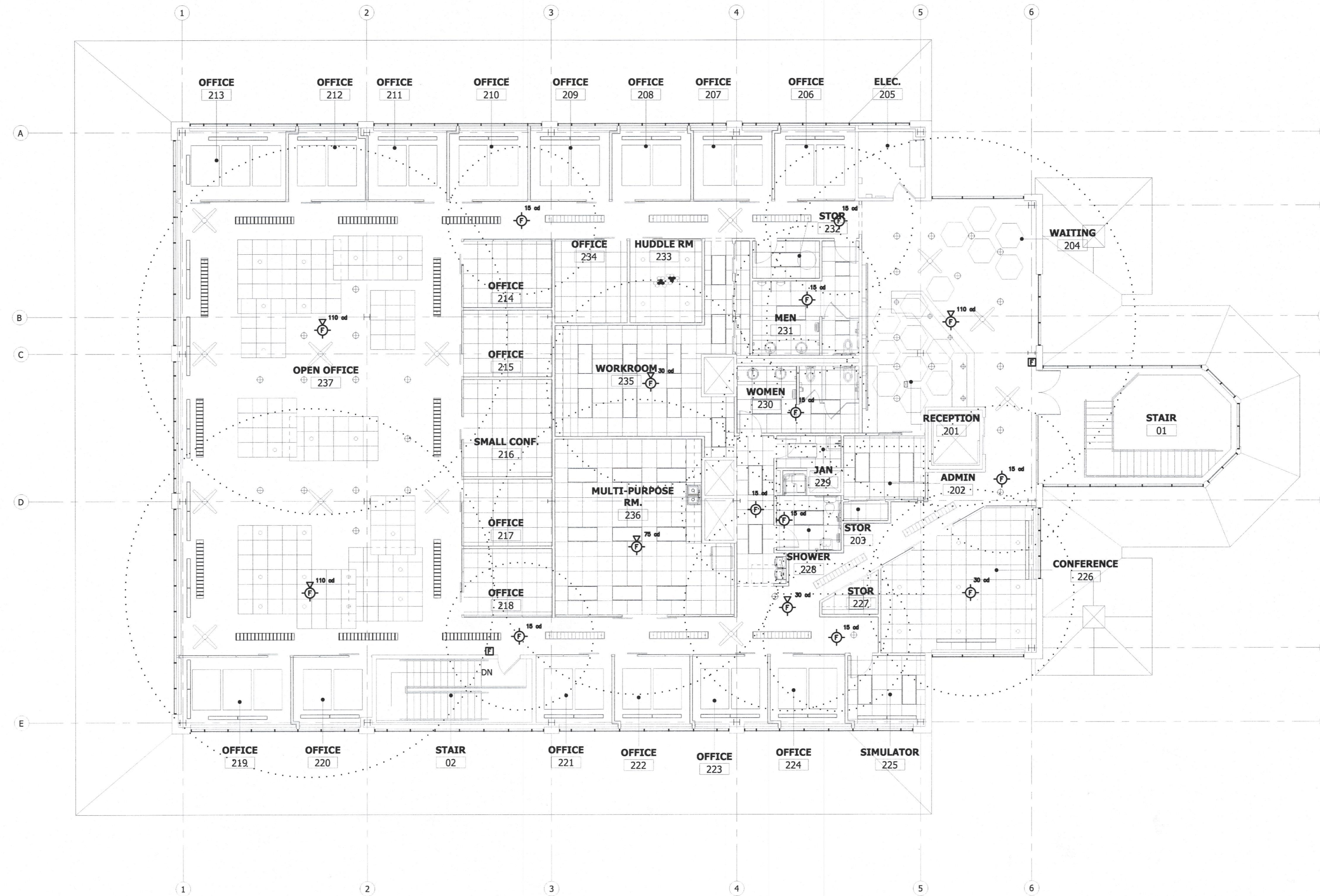
GENERAL NOTES (APPLY TO DRAWING E401):

1. MAINTAIN EXISTING FIRE ALARM DEVICES IN LOBBY AND FIRST FLOOR.
2. MAINTAIN EXISTING FIRE ALARM DUCT DETECTORS IN ROOFTOP UNITS.
3. EXISTING FIRE ALARM CONTROL PANEL IS LOCATED ON FIRST FLOOR.



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FLOOR PLAN - FIRE ALARM
 SCALE: 1/8" = 1'-0"

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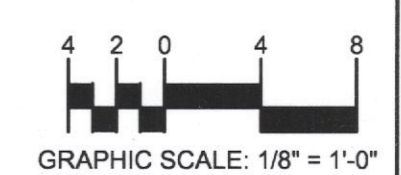
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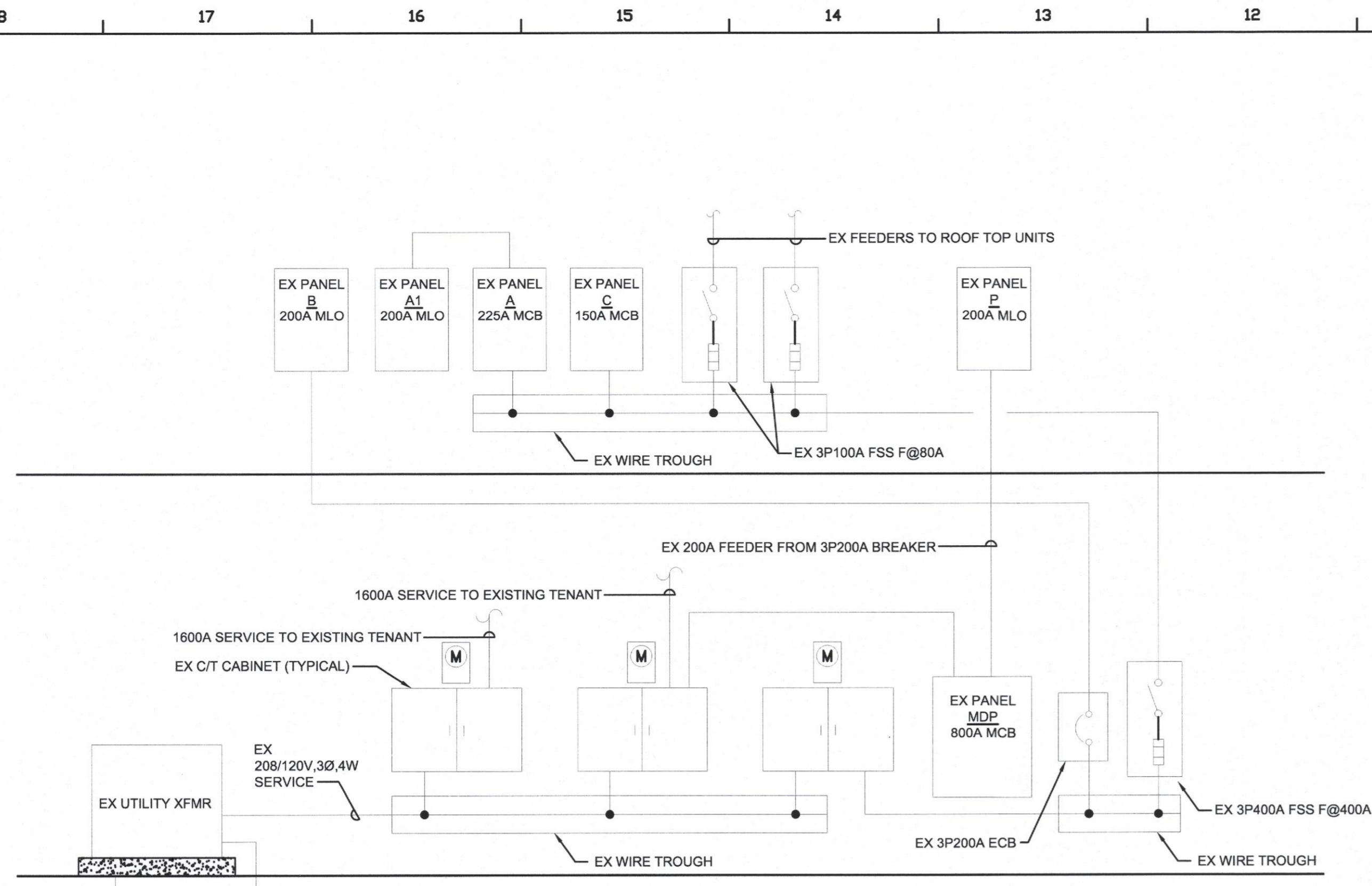
PRELIMINARY
 PERMITS
 BIDDING
 CONSTRUCTION

PROJECT NO: 1600190
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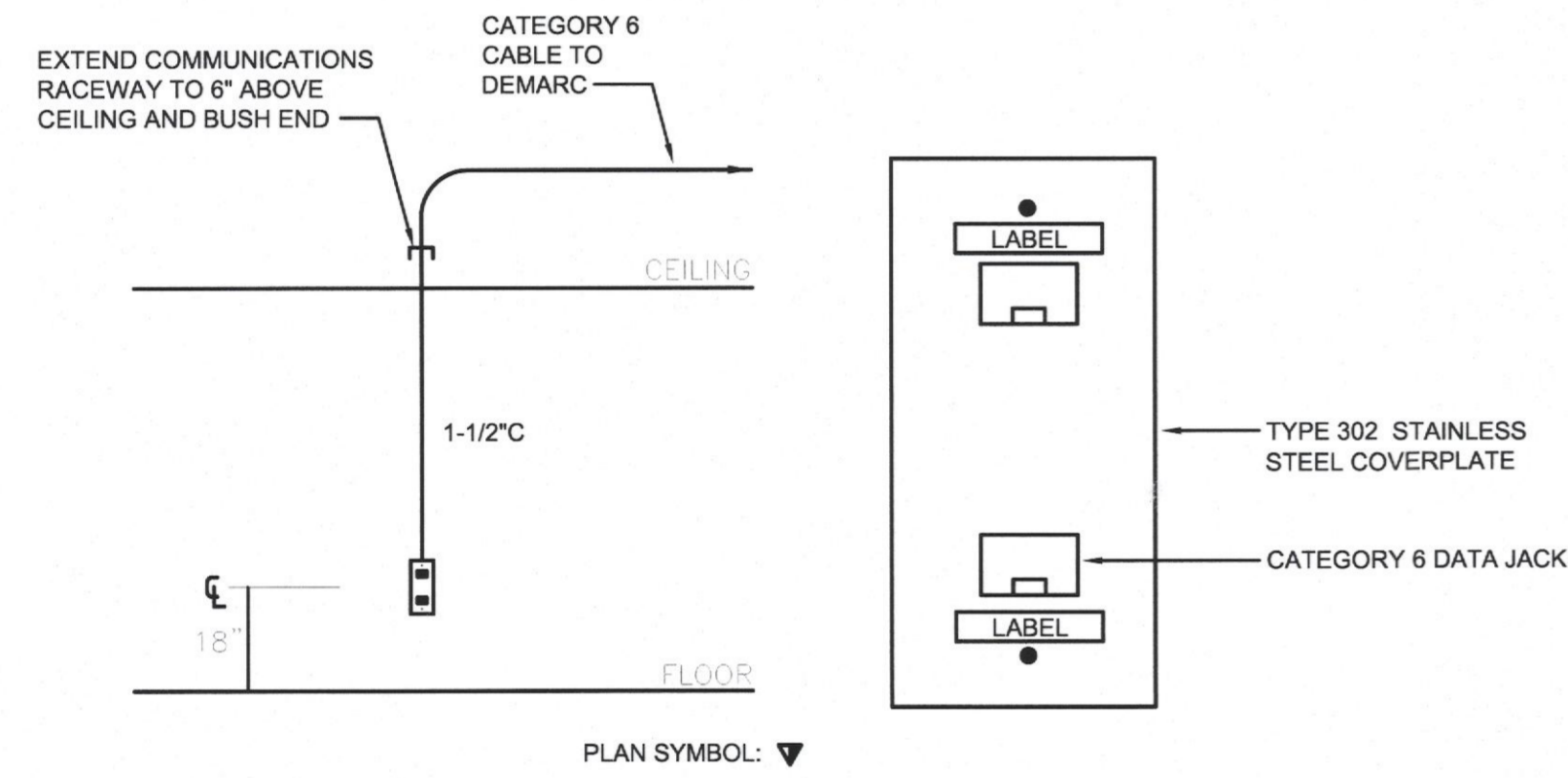
FLOOR PLAN
 FIRE ALARM

E401
 12 OF 14

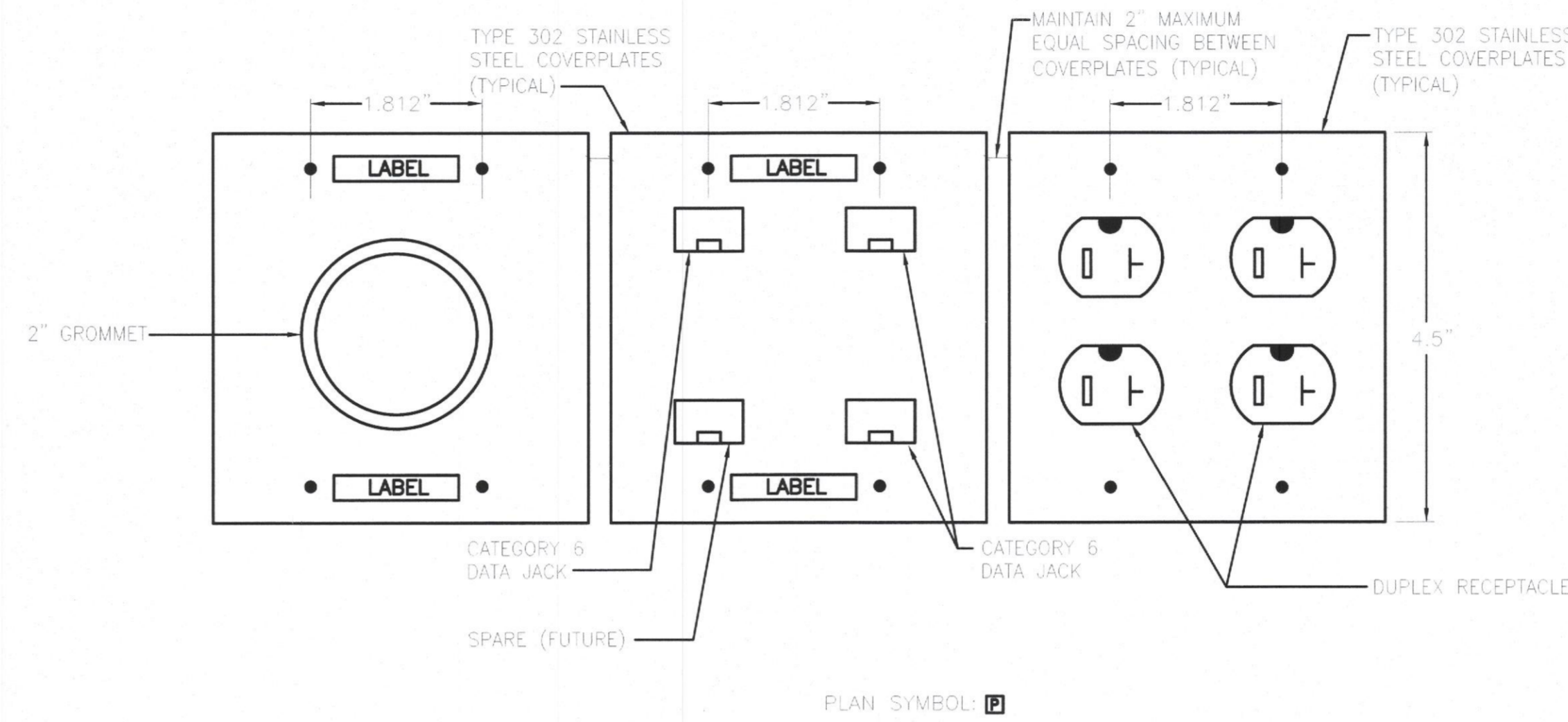
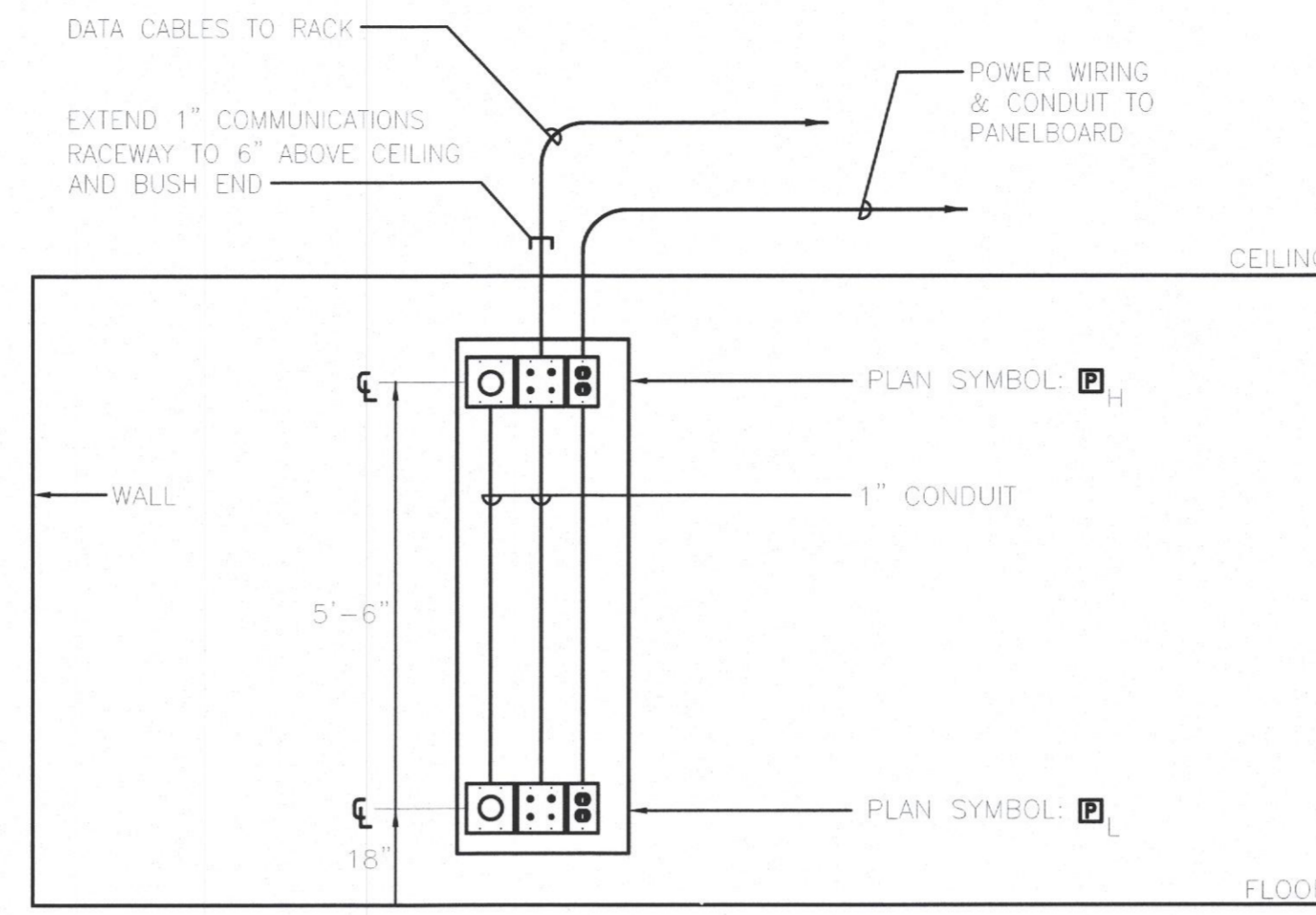




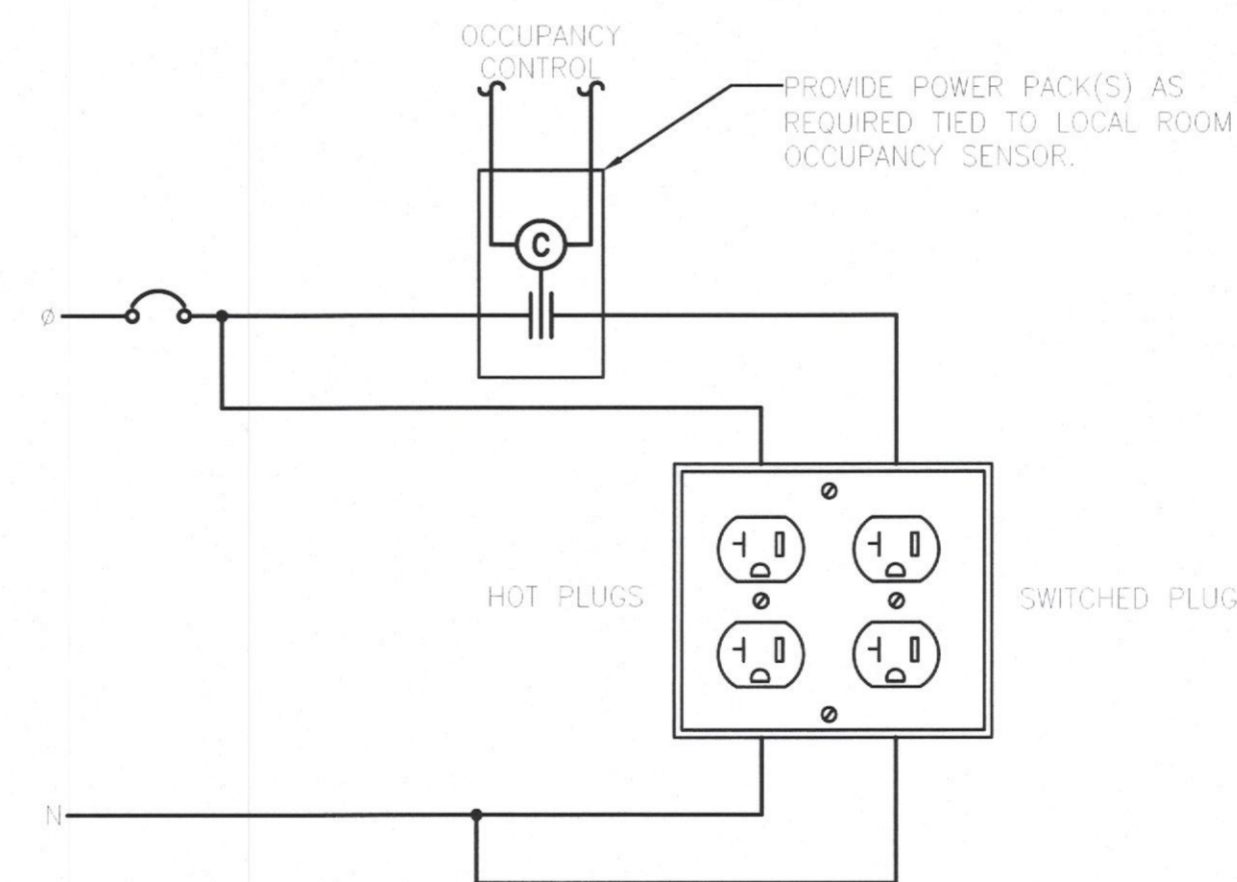
SCHMATIC POWER RISER DIAGRAM
SCALE: NOT TO SCALE



DETAIL - VOICE/DATA DROP



DETAIL - TYPICAL HIGH/LOW VIDEO DATA DROP



NOTES:
ALL QUADRAPLEX RECEPTACLES SHALL BE SWITCHED AS SHOWN HERE.
PROVIDE PROPER NEC LABELING FOR SWITCHED RECEPTACLES.

SWITCHED RECEPTACLE WIRING DIAGRAM



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BIDDING	
CONSTRUCTION	

PROJECT NO: 1600190
DRAWN: SLM
DESIGNED: SLM
CHECKED: SLM

POWER RISER DIAGRAM AND DETAILS
E501
13 OF 14

RX PANEL A VOLTAGE:120/208V 3P, 4W 225 AMPERE BUS MOUNTING: SURFACE LOCATION: ELEC ROOM EX CIRCUITS TO BE DEMOLISHED. Includes table with columns for CTN, KVA, CKT, DESCRIPTION, BREAKER, and CIRCUIT WIRING. Connected load: 82.8 KVA.

EX PANEL A VOLTAGE:120/208V 3P, 4W 225 AMPERE BUS MOUNTING: SURFACE LOCATION: ELEC ROOM NEW CIRCUITS. Includes table with columns for CTN, KVA, CKT, DESCRIPTION, BREAKER, and CIRCUIT WIRING. Connected load: 32.3 KVA.

RX PANEL P VOLTAGE:120/208V 3P, 4W 200 AMPERE BUS MOUNTING: RECESSED LOCATION: OFFICE EX CIRCUITS TO BE DEMOLISHED. Includes table with columns for CTN, KVA, CKT, DESCRIPTION, BREAKER, and CIRCUIT WIRING. Connected load: 0.0 KVA.

RX PANEL A1 VOLTAGE:120/208V 3P, 4W 225 AMPERE BUS MOUNTING: SURFACE LOCATION: ELEC ROOM EX CIRCUITS TO BE DEMOLISHED. Includes table with columns for CTN, KVA, CKT, DESCRIPTION, BREAKER, and CIRCUIT WIRING. Connected load: 37.8 KVA.

EX PANEL A1 VOLTAGE:120/208V 3P, 4W 225 AMPERE BUS MOUNTING: SURFACE LOCATION: ELEC ROOM NEW CIRCUITS. Includes table with columns for CTN, KVA, CKT, DESCRIPTION, BREAKER, and CIRCUIT WIRING. Connected load: 8.3 KVA.

EX PANEL P VOLTAGE:120/208V 3P, 4W 200 AMPERE BUS MOUNTING: RECESSED LOCATION: OFFICE NEW CIRCUITS. Includes table with columns for CTN, KVA, CKT, DESCRIPTION, BREAKER, and CIRCUIT WIRING. Connected load: 17.5 KVA.

RX PANEL B VOLTAGE:120/208V 3P, 4W 200 AMPERE BUS MOUNTING: SURFACE LOCATION: ELEC ROOM EX CIRCUITS TO BE DEMOLISHED. Includes table with columns for CTN, KVA, CKT, DESCRIPTION, BREAKER, and CIRCUIT WIRING. Connected load: 25.8 KVA.

EX PANEL B VOLTAGE:120/208V 3P, 4W 200 AMPERE BUS MOUNTING: SURFACE LOCATION: ELEC ROOM NEW CIRCUITS. Includes table with columns for CTN, KVA, CKT, DESCRIPTION, BREAKER, and CIRCUIT WIRING. Connected load: 0.0 KVA.

RX PANEL C VOLTAGE:120/208V 3P, 4W 200 AMPERE BUS MOUNTING: SURFACE LOCATION: ELEC ROOM EX CIRCUITS TO BE DEMOLISHED. Includes table with columns for CTN, KVA, CKT, DESCRIPTION, BREAKER, and CIRCUIT WIRING. Connected load: 46.2 KVA.

EX PANEL C VOLTAGE:120/208V 3P, 4W 200 AMPERE BUS MOUNTING: SURFACE LOCATION: ELEC ROOM NEW CIRCUITS. Includes table with columns for CTN, KVA, CKT, DESCRIPTION, BREAKER, and CIRCUIT WIRING. Connected load: 12.7 KVA.

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Table with columns for DATE, DESCRIPTION, and REVISIONS.

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PRELIMINARY BIDDING CONSTRUCTION
PROJECT NO 1600190
DRAWN SLM
DESIGNED SLM
CHECKED SLM

ELECTRICAL PANEL SCHEDULES

E601
14 OF 14