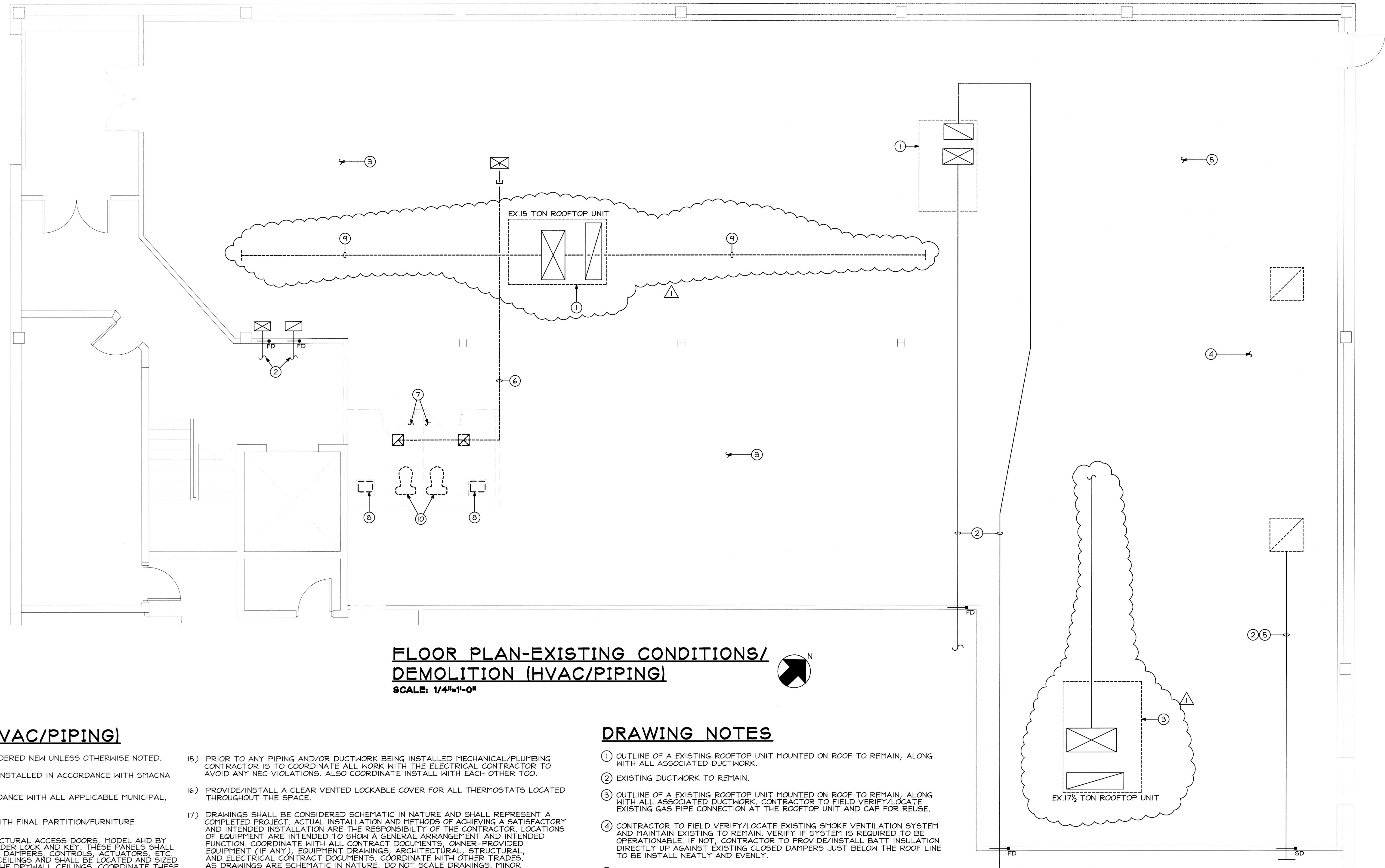


**SYMBOLS LIST**

- FLEXIBLE CONNECTION
- TURNING VANES
- SUPPLY DUCT DOWN
- SUPPLY DUCT UP
- RETURN DUCT DOWN
- RETURN DUCT UP
- EXHAUST DUCT DOWN
- EXHAUST DUCT UP
- FIRE DAMPER
- AIRTITE FITTING W/ VOLUME DAMPER
- FLEXIBLE DUCT
- SUPPLY AIR
- RETURN AIR
- EXHAUST AIR
- DIRECTION OF AIR FLOW
- THERMOSTAT
- DRAWING NOTE
- SANITARY PIPE
- VENT PIPE
- COLD WATER PIPE
- HOT WATER PIPE
- HOT WATER RECIRC PIPE
- PIPE DOWN
- PIPE UP
- CLEANOUT
- BALL VALVE
- UNION
- ANGLE STOP VALVE
- EX.** EXISTING
- RTU** ROOFTOP UNIT
- C.F.M.** CUBIC FEET PER MINUTE
- TYP.** TYPICAL
- FD** FLOOR DRAIN
- FS** FLOOR SINK
- F-1** EXHAUST FAN



**FLOOR PLAN-EXISTING CONDITIONS/  
DEMOLITION (HVAC/PIPING)**

SCALE: 1/4"=1'-0"

**GENERAL NOTES (HVAC/PIPING)**

- 1) ALL ITEMS INDICATED BOLD SHALL BE CONSIDERED NEW UNLESS OTHERWISE NOTED.
- 2) ALL DUCTWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH SMACNA STANDARDS.
- 3) ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH ALL APPLICABLE MUNICIPAL, STATE, AND CITY/COUNTY CODES.
- 4) COORDINATE ALL THERMOSTAT LOCATIONS WITH FINAL PARTITION/FURNITURE LAYOUT.
- 5) PROVIDE ACCESS PANELS EQUAL TO ARCHITECTURAL ACCESS DOORS, MODEL AHD BY METROPOLITAN DOOR INDUSTRIES WITH CYLINDER LOCK AND KEY. THESE PANELS SHALL BE PROVIDED ANYWHERE THERE ARE VOLUME DAMPERS, CONTROLS, ACTUATORS, ETC. THAT HAVE TO BE LOCATED ABOVE DRYWALL CEILINGS AND SHALL BE LOCATED AND SIZED TO ALLOW ACCESS TO THESE ITEMS ABOVE THE DRYWALL CEILINGS. COORDINATE THESE LOCATIONS WITH INSTALLATION OF THE GYP BOARD CEILING. ANY ACCESS PANELS INSTALLED IN THE PROCEDURE ROOM MUST BE GASKETED TYPE ONLY AND MUST MEET THE MONOLITHIC REQUIREMENTS OF THE CEILING. PRIOR TO PURCHASE/INSTALL COORDINATE WITH THE CONSTRUCTION MANAGER.
- 6) EXISTING SANITARY PIPING SHOWN IS ASSUMED/APPROXIMATE LOCATION. EXISTING SANITARY PIPING MUST BE ACTUALLY FIELD DETERMINED FOR EXACT LOCATION AND FLOW DIRECTION PRIOR TO INSTALLATION.
- 7) PLUMBING ROUGH-IN CONNECTIONS ARE APPROXIMATE LOCATIONS. ALL ROUGH-IN CONNECTIONS TO BE COORDINATED IN THE FIELD BY THE PLUMBING CONTRACTOR.
- 8) PROVIDE TRIM PANELS FOR SUPPLY DIFFUSER MOUNTED IN DRYWALL CEILING.
- 9) THE BALANCING OF AIRFLOWS IS TO BE PERFORMED BY A **AABC** CERTIFIED BALANCING CONTRACTOR ONLY. FINAL AIRFLOW BALANCING REPORT WILL BE MADE AVAILBLE PRIOR TO THE FINAL INSPECTION.
- 10) ALL DOMESTIC WATER PIPING TO BE INSTALLED ON THE WARM SIDE OF THE BUILDING INSULATION.
- 11) BEFORE ANY ROOF WORK IS PERFORMED THE MECHANICAL CONTRACTOR IS TO CONTRACT THE ORIGINAL ROOFING CONTRACTOR TO VERIFY THAT ANY WORK PERFORMED WILL NOT VOID ANT WARRANTIES. ALL ROOF PENETRATION AND/OR REPAIR WORK ON THE ROOF IS TO BE COORDINATED WITH THE LANDLORD'S ROOFING CONTRACTOR SO WORK MAY BE PERFORMED.
- 12) PRIOR TO THE INSTALLATION OF THE OUTDOOR UNITS ON THE ROOF A STRUCTURAL ENGINEER WILL NEED TO SIGN OFF ON THE NEW HVAC EQUIPMENT BEING MOUNTED ON THE EXISTING ROOF.
- 13) ALL COLOR SELECTIONS FOR PLUMBING FIXTURES TO BE MADE BY THE ARCHITECT.
- 14) FIRE STOPPING MATERIAL (NON-COMBUSTIBLE) FOR WALLS, FLOORS AND CEILINGS SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED TO MAINTAIN ANY FIRE SEPERATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATION OF ALL FIRE STOPPING WORK, RESULTING FROM INSTALLATION OF NEW PIPING, DUCTWORK, ETC. THE CONTRACTOR IS RESPONSIBLE FOR FILLING ALL VOIDS IN WALLS, CEILINGS AND FLOORS TO WITHIN 1/2" OF EACH PENETRATION WITH MATERIAL TO MATCH THE ADJACENT SURFACES AND/OR CONSTRUCTION, UNLESS TIGHTER CLEARANCES ARE REQUIRED BY CODE. THE CONTRACTOR SHALL CORRECT ANY DEFICIENCIES PRIOR TO INITIATION OF FIRE STOPPING.

- 15) PRIOR TO ANY PIPING AND/OR DUCTWORK BEING INSTALLED MECHANICAL/PLUMBING CONTRACTOR IS TO COORDINATE ALL WORK WITH THE ELECTRICAL CONTRACTOR TO AVOID ANY NEC VIOLATIONS. ALSO COORDINATE INSTALL WITH EACH OTHER TOO.
- 16) PROVIDE/INSTALL A CLEAR VENTED LOCKABLE COVER FOR ALL THERMOSTATS LOCATED THROUGHOUT THE SPACE.
- 17) DRAWINGS SHALL BE CONSIDERED SCHEMATIC IN NATURE AND SHALL REPRESENT A COMPLETED PROJECT. ACTUAL INSTALLATION AND METHODS OF ACHIEVING A SATISFACTORY AND INTENDED INSTALLATION ARE THE RESPONSIBILITY OF THE CONTRACTOR. LOCATIONS OF EQUIPMENT ARE INTENDED TO SHOW A GENERAL ARRANGEMENT AND INTENDED FUNCTION. COORDINATE WITH ALL CONTRACT DOCUMENTS, OWNER-PROVIDED EQUIPMENT (IF ANY), EQUIPMENT DRAWINGS, ARCHITECTURAL, STRUCTURAL, AND ELECTRICAL CONTRACT DOCUMENTS. COORDINATE WITH OTHER TRADES. AS DRAWINGS ARE SCHEMATIC IN NATURE, DO NOT SCALE DRAWINGS. MINOR MODIFICATIONS OF WORK TO COMPLY SHALL BE PROVIDED.
- 18) ALLOWANCES ARE TO BE INCLUDED FOR UNFORSEEN CONDITIONS THAT MAY EFFECT THE CONTRACTOR'S SCOPE OF WORK. MINOR DEVIATIONS REQUIRED FOR ACCOMPLISHING THE INTENT OF THIS DESIGN ARE TO BE INCLUDED IN THAT ALLOWANCE.
- 19) ALL EXHAUST FAN OUTLETS INCLUDING THE SANITARY VENTS THROUGH THE ROOF MUST BE LOCATED A MINIMUM OF 25'-0" FROM ANY FRESH AIR INTAKES FROM THE ROOFTOP UNITS.
- 20) MECHANICAL CONTRACTOR MUST COORDINATE AND INSTALL THE NEW ROOFTOP UNITS WITH NEW ROOF CURBS AND/OR CURB ADAPTERS AS REQUIRED. ALL PROVISIONS MUST BE MADE TO MAINTAIN A WEATHER TIGHT ROOF. COORDINATE ALL WORK ON THE ROOF WITH THE ORIGINAL/LANDLORD'S ROOFING CONTRACTOR FOR WORK TO BE DONE.
- 21) CONTRACTOR TO PROVIDE/INSTALL BATT INSULATION UP INSIDE ALL NEW (ABOVE THE CEILING) AND EXISTING ROOF CURBS TO BE INSTALL TO BE NEATLY AND EVENLY INSTALLED MADE WEATHER TIGHT.

22) NO PVC PIPING PERMITTED WITHIN THE PLENUM CEILING.

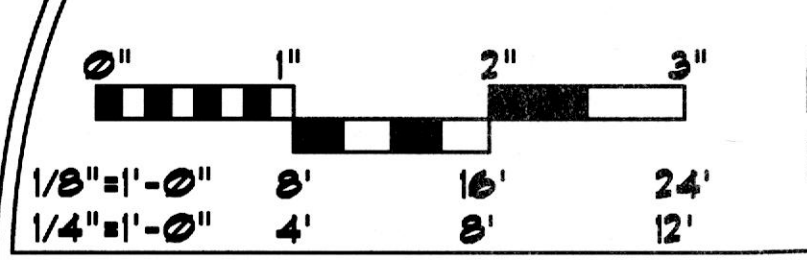
**DRAWING NOTES**

- 1) OUTLINE OF A EXISTING ROOFTOP UNIT MOUNTED ON ROOF TO REMAIN, ALONG WITH ALL ASSOCIATED DUCTWORK.
- 2) EXISTING DUCTWORK TO REMAIN.
- 3) OUTLINE OF A EXISTING ROOFTOP UNIT MOUNTED ON ROOF TO REMAIN, ALONG WITH ALL ASSOCIATED DUCTWORK. CONTRACTOR TO FIELD VERIFY/LOCATE EXISTING GAS PIPE CONNECTION AT THE ROOFTOP UNIT AND CAP FOR REUSE.
- 4) CONTRACTOR TO FIELD VERIFY/LOCATE EXISTING SMOKE VENTILATION SYSTEM AND MAINTAIN EXISTING TO REMAIN. VERIFY IF SYSTEM IS REQUIRED TO BE OPERATIONABLE. IF NOT, CONTRACTOR TO PROVIDE/INSTALL BATT INSULATION DIRECTLY UP AGAINST EXISTING CLOSED DAMPERS JUST BELOW THE ROOF LINE TO BE INSTALL NEATLY AND EVENLY.
- 5) CONTRACTOR TO FIELD VERIFY AND MAINTAIN ANY EXISTING DUCTWORK AND/OR PIPING THAT IS ASSOCIATED WITH THE ADJACENT TENANT AND MAINTAIN EXISTING TO REMAIN INCLUDING HVAC EQUIPMENT ON THE ROOF.
- 6) CONTRACTOR TO FIELD VERIFY/LOCATE EXISTING EXHAUST SYSTEM THAT SERVES THE EXISTING BATHROOMS AND REMOVE BACK TO POINT INDICATED. CAP DUCTWORK AIR TIGHT.
- 7) CONTRACTOR TO FIELD VERIFY/LOCATE THE EXISTING HOT WATER HEATER THAT SERVES THE EXISTING BATHROOMS AND REMOVE, ALONG WITH ALL EXISTING HOT WATER PIPING WITHIN OUR SPACE THAT SERVES ONLY OUR SPACE. IF HOT WATER SOURCE IS FROM ADJACENT TENANT SPACE THEN ONLY REMOVE THE EXISTING HOT WATER PIPES THAT SERVE OUR SPACE AND CAP ABOVE THE CEILING.
- 8) CONTRACTOR TO FIELD VERIFY/LOCATE EXISTING PLUMBING FIXTURE AND REMOVE, INCLUDING ALL EXISTING DOMESTIC HOT AND COLD WATER PIPES ASSOCIATED WITH THE EXISTING PLUMBING FIXTURE. REMOVE EXISTING SANITARY VENT PIPE UP TO JUST BELOW THE ROOF LINE OF EXISTING SANITARY VENT THROUGH ROOF AND CAP. ALSO REMOVE EXISTING SANITARY PIPE DOWN JUST BELOW SLAB AND CAP.
- 9) CONTRACTOR TO FIELD VERIFY AND REMOVE ALL EXISTING DUCTWORK BACK TO UNIT CONNECTION.
- 10) CONTRACTOR TO FIELD VERIFY/LOCATE EXISTING PLUMBING FIXTURE AND REMOVE, INCLUDING ALL EXISTING DOMESTIC COLD WATER PIPES ASSOCIATED WITH THE EXISTING PLUMBING FIXTURE. REMOVE EXISTING SANITARY VENT PIPE UP TO JUST BELOW THE ROOF LINE OF EXISTING SANITARY VENT THROUGH ROOF AND CAP. ALSO REMOVE EXISTING SANITARY PIPE DOWN JUST BELOW SLAB AND CAP.

**NOTICE TO CONTRACTORS**

ALL CONTRACTORS PRIOR TO BID SUBMISSION PROCESS SHALL VISIT PROPOSED WORK SITE AND FIELD VERIFY ALL EXISTING CONDITIONS. ANY CONDITIONS THAT DIFFER FROM THAT SHOWN ON THIS PLAN SHALL BE REPORTED TO ARCHITECT/ENGINEER SO THAT NEW AND REVISED BID DRAWINGS OR INFORMATION MAY BE ISSUED. MODIFICATIONS TO SCOPE OF WORK WHICH RESULTS FROM CONTRACTORS NEGLIGENCE TO VISIT THE SITE PRIOR TO SUBMITTING BID, SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY.

This project was designed in 2013 and was originally signed and sealed and submitted for permit on or about 8/20/13. The stamp below with the current date is to document that this is a record copy of those drawings. These represent no new work done after the construction done based on these drawings and this is ONLY certifying the design work done in 2013



**FLOOR PLAN-DEMOLITION (HVAC/PIPING)**

| REVISIONS |         |                  |
|-----------|---------|------------------|
| REV#      | DATE    | DESCRIPTION      |
| 1         | 7/16/13 | OWNER'S REVISION |
|           |         |                  |
|           |         |                  |
|           |         |                  |

DRAWING NO. **M/P-101.00**  
 SHEET 1 OF 9  
 DATE 4/19/13 DRAWN BY DLT  
 JOB NUMBER ORDERED BY 112.06 DLT  
 SDI# 2013-01H

ISSUED FOR  
**BUILDING PERMIT**

To the best of my knowledge and belief, these plans and specifications are in compliance with Section 101.4.4 of the New York City Energy Conservation Code (NYCECC).

**Richard J. Stern, P.E.**  
 2741 Furness Road  
 Folsom, PA 17322  
 Phone: 717-891-6026

TENANT RENOVATIONS FOR:  
**Access Center**  
 1733 Eastchester Road  
 Bronx, NY 10461

**Lifeline**  
 Vertical Access

**InSync**  
 ARCHITECTURAL DESIGNS, INC.  
 1219 Old Pysessville Road  
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