

SOPHIA BALIS
L.04912 F.0455
TAX. No:09-02-007820

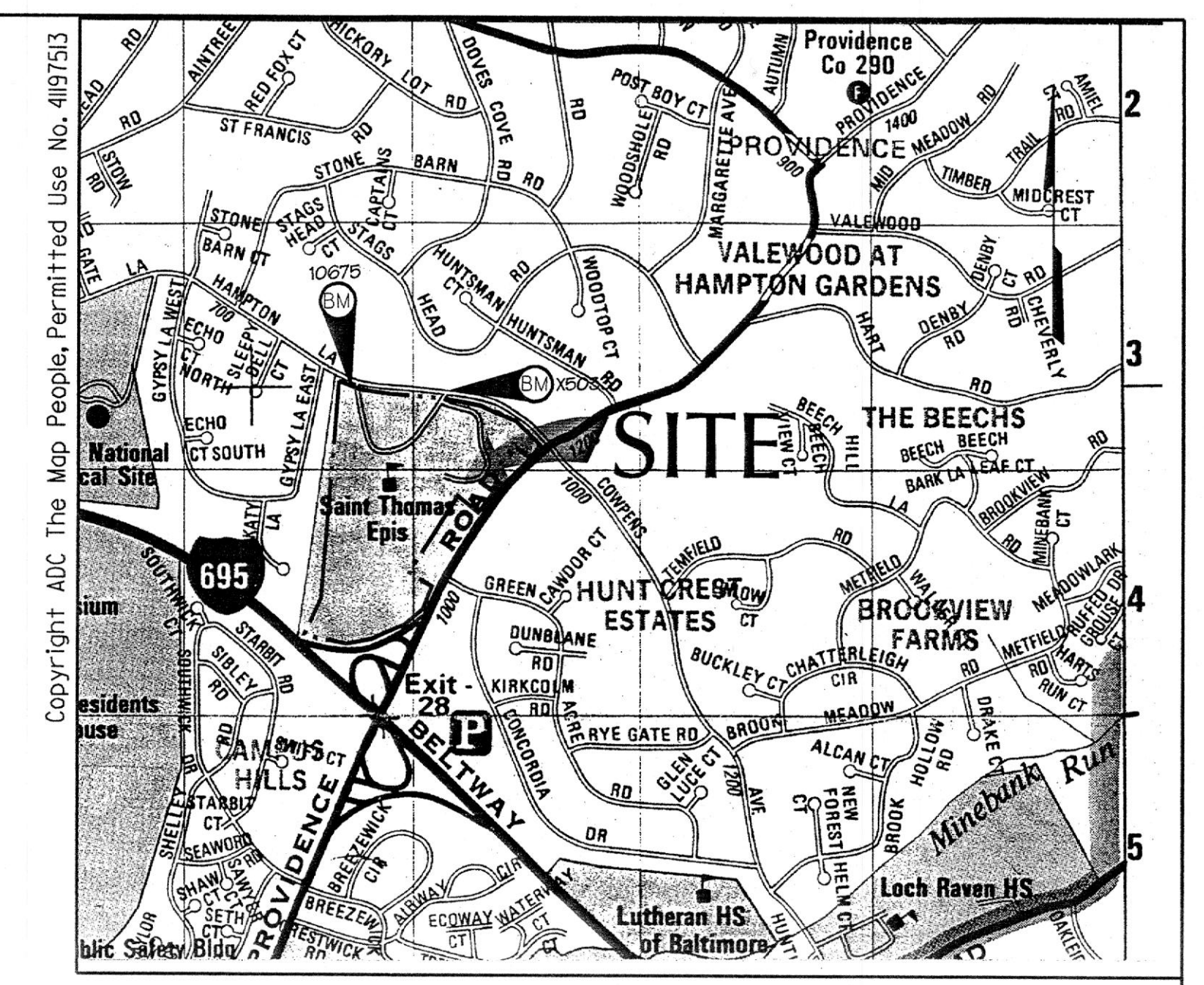
ROBERT C. BRENDEL &
CYNTHIA E. KAPRAUN
L.07895 F.0226
TAX. No:09-08-304390

JAMES & RUTH L. SYNODINOS
L.07685 F.0590
TAX. No:09-01-270110

LEGEND

---	EX. MAJOR CONTOUR
---	EX. MINOR CONTOUR
---	EX. WATER
---	EX. SANITARY SEWER
---	EX. STORM DRAIN
---	EX. GAS
---	EX. EDGE OF ROAD
---	PROPOSED STORM DRAIN
---	PROF. CURB AND GUTTER
---	PROPOSED CONTOUR
---	PROPERTY LINE
---	PROPOSED BUILDING
---	FOREST BUFFER
---	EX. TREE LINE
---	25' FOREST BUFFER SETBACK
---	PROP. WOODS LINE
---	ZONING LINE
---	SOLID LINE
---	SWALE
---	PROPOSED WALK

- GENERAL NOTES**
1. Unless otherwise noted, all construction shall be in accordance with the latest Baltimore County Plumbing Code and Department of Public Works Standard Specifications and details. In case of conflict or discrepancy, the plumbing code shall apply.
 2. Existing site features and utilities shown have been based upon surveys and other sources believed to be reliable. The correctness or completeness of the information shown is not guaranteed. The Contractor shall verify all information before commencing work.
 3. The Contractor shall notify Miss Utility at 1-800-257-7777 a minimum of five working days prior to construction.
 4. The Contractor shall maintain, repair, and/or replace any existing sediment control devices encountered and disturbed during the course of construction. At the end of each day, all measures and devices shall be repaired or replaced before leaving the work site.
 5. Construction shall follow the Sequence of Construction on the approved Erosion and Sediment Control drawings.
 6. The Contractor shall obtain all necessary permits and inspections.
 7. The Contractor shall maintain traffic at all times.
 8. Numerically written dimensions shall take precedence over scaled dimensions.
 9. Unless otherwise noted, dimensions from curb are measured at face of curb.
 10. Refer to architectural drawings for building dimensions.
 11. All grading and excavation shall be performed in accordance with the geotechnical engineer's report and inspected by a geotechnical engineer.
 12. The Contractor shall provide a two-foot area at 1/2-inch per foot slope behind all proposed curb, unless otherwise indicated.
 13. Finished grades shall fall away from existing and proposed buildings at a minimum of 1/4-inch per foot for vegetated areas and a minimum of 1/8-inch per foot for paved areas unless otherwise indicated.
 14. The Contractor shall determine the exact location and depth of all existing utilities, as necessary. Report any discrepancies from the plans to DMW. All utilities shall be retained unless labeled otherwise. The Contractor shall be responsible for all costs and work required to adjust existing and proposed utilities and appurtenances to finish grades within the limits of work. Damage to existing conditions and utilities shall be repaired to the owner's satisfaction at the expense of the Contractor.
 15. The Contractor shall have all private utilities located prior to any construction.
 16. Existing utilities which are not to be removed or abandoned shall remain operational at all times. Appropriate existing utilities shall remain in service until replacement/relocated utilities are operational.
 17. The Contractor shall coordinate installation of all utilities to avoid construction problems/conflicts with erosion and sediment control measures. See approved sediment control plan.
 18. The Contractor shall coordinate the location of all water, sewer, and drain house connections with the mechanical drawings.
 19. The Contractor shall maintain 2.0 feet minimum cover over all utilities during construction.
 20. Unless otherwise noted, all utility connections shall be capped or plugged five feet from buildings.
 21. Prior to construction, the mechanical consultant shall have determined the adequacy of water supply.
 22. Only Baltimore City personnel shall operate public water valves. The Contractor shall notify the Baltimore County Inspector or area engineer (410-387-3531) to arrange a shutdown.
 23. Unless otherwise noted, all proposed water lines shall have four feet minimum cover, 0.5 feet minimum vertical clearance from all storm drain lines, and 1.0 feet minimum vertical clearance above sanitary sewer lines.
 24. All fire mains shall be installed in accordance with the latest N.F.P.A. 24.
 25. The center of all fire hydrants shall be placed 2 feet behind face of curb.
 26. Hydrant flanges shall be placed two inches above finished grade.
 27. The Contractor shall discharge chlorinated flush water into an operational sanitary sewer manhole.
 28. Electric, telephone, gas, cable, lighting, and retaining walls to be designed by others. Where those facilities are shown, they are for coordination purposes only.
 29. All proposed signs will comply with Section 450 of the BCZC (1998).
 30. Existing B.G.&E. poles within L.O.D. are to be relocated or removed, by others, prior to grading of site.



VICINITY MAP
SCALE: 1"=500'
BENCHMARK
DESCRIPTION

NOTES
HORIZONTAL AND VERTICAL INFORMATION SHOWN HEREON IS BASED ON THE FOLLOWING BALTIMORE COUNTY CONTROL STATIONS:
X-5033 N 43397.61 E 10922.19 EL. 415.02'
10079 N 43460.61 E 10008.40 EL. 372.89'
UTILITIES SHOWN HEREON ARE BASED SOLELY ON FIELD LOCATIONS. NO COMPARISON TO, OR ENHANCEMENT HAS BEEN MADE FROM ANY UTILITY DRAWINGS. THE LOCATION OF ANY UNDERGROUND UTILITY SHOWN HEREON IS APPROXIMATE AND MUST BE VERIFIED.
10079 IS A RR SPIKE IN MACADAM, SOUTH SIDE OF HAMPTON LANE 50' EAST OF ENTRANCE TO THE SCHOOL.
X-5033 IS A GALVANIZED SPIKE IN MACADAM ON SOUTH SIDE OF HAMPTON LANE

GENERAL NOTES

1. PROPERTY OWNER:	SCHOOL SISTERS OF NOTRE DAME
2. SITE ADDRESS:	915 HAMPTON LANE BALTIMORE, MARYLAND 21286
3. DEED REFERENCE:	7037/423
4. TAX ACCOUNT NO.:	09-19-0724-61
5. TAX MAP:	61
6. BLOCK:	22
7. PARCEL:	37
8. LIMIT OF DISTURBANCE:	155 ACRES OR 67,230 S.F.
9. ELECTION DISTRICT:	4
10. COUNCILMANIC DISTRICT:	4
11. ZONING:	OR-2

DATA SOURCES:

1. EXISTING TOPOGRAPHY INFORMATION WAS FIELD RUN BY DMW ON JUNE 16, 1998 AND MARCH 28, 2002.
2. BOUNDARY SHOWN HEREON IS FIELD SURVEYED, COMPILED AND COMPLETED BY DMW DATED APRIL, 1998.

DMW
Daft-McCune-Walker, Inc.
200 East Pennsylvania Avenue
Tousson, Maryland 21286
(410) 296-3333
Fax 296-4705

*A Team of Land Planners,
Landscape Architects,
Golf Course Architects,
Engineers, Surveyors &
Environmental Professionals*

SITE PLAN
**Notre Dame Preparatory School
Athletic Center**
Baltimore County, Maryland
9th Election District Councilmanic District 4

	ISSUE DATES		
	REVIEW: 4-7-03 BID: 6-2-03 PERMIT: CONSTRUCTION: BASE: J&B DRAWN: LC DESIGNED: KAD CHECKED BY: DATE CHECKED:		
DATE	BY	REVISIONS	CHECKED BY:
6/30/03	DMW	REVISED ROOF DRAIN LOCATION	
7/2/03	DMW	REVISED ROOF DRAIN LOCATION	
8/18/03	DMW	REVISED MACADAM WALK AT STAIRS	
3/16/04	DMW	ADDED MHS S-3A & S-3B	
SCALE: 1"=30'			PROJECT NO.: 96021.D
DRAWING:			1 of 3