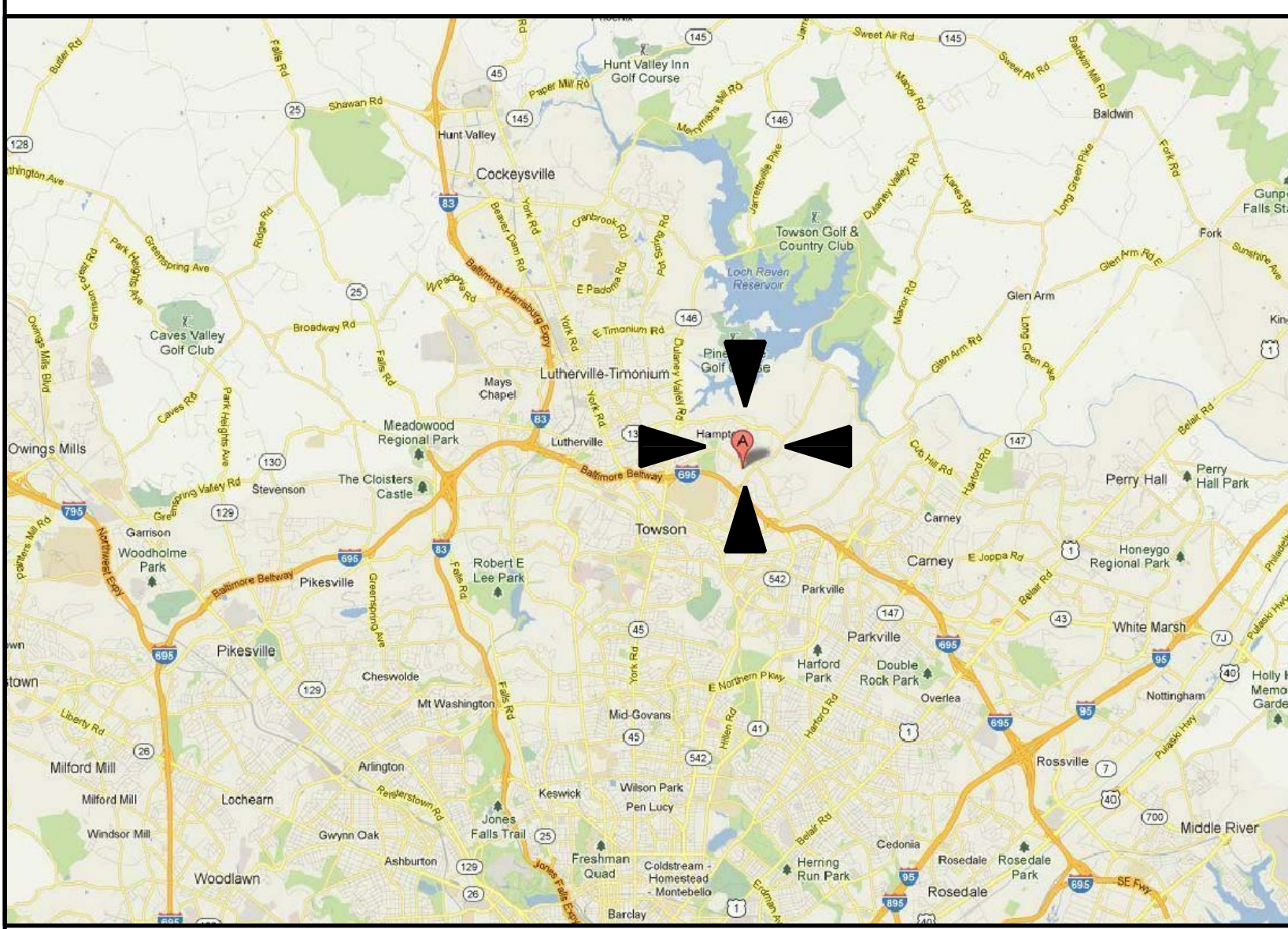
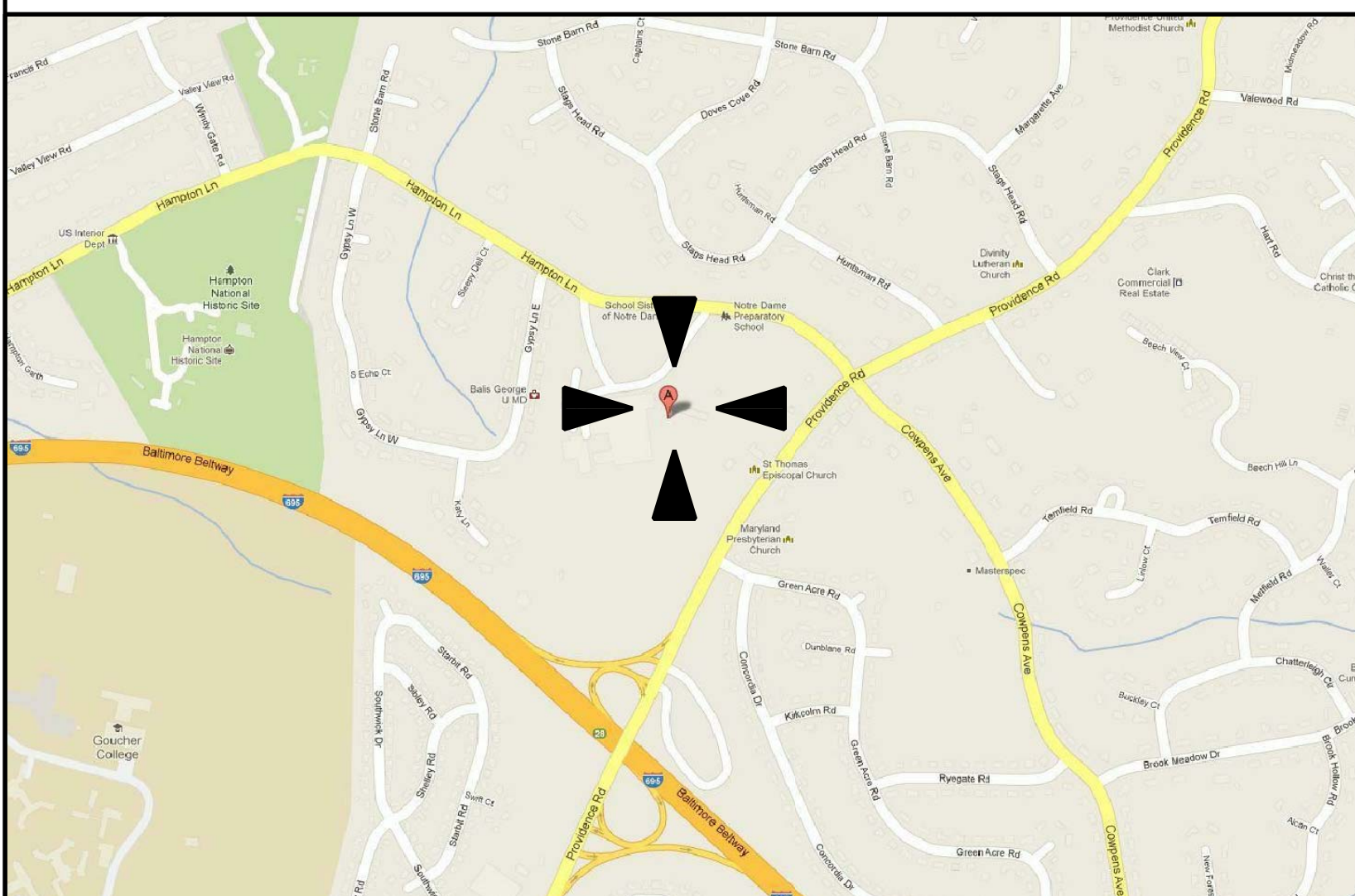


AREA MAP



LOCATION MAP



# Notre Dame Preparatory School

815 Hampton Lane,  
Towson, MD 21286

## Convent Renovations PERMIT & CONSTRUCTION 06-17-2013

**Owner / Developer**  
**Notre Dame Preparatory School**  
815 Hampton Lane,  
Towson, MD 21286  
Office: 410-825-6202

**Architect**  
**Gaudreau, Inc.**  
810 Light Street  
Baltimore, MD 21230  
PHONE (410) 837-5040 FAX (410) 837-8093

**Construction Manager**  
**Constantine Commercial Construction, Inc.**  
9494 Deereco Rd  
Lutherville, MD 21093  
Office: 410- 453-0150

**Mechanical / Electric / Plumbing**  
**JennErik Engineering, Inc.**  
4322 Cross Brook Drive  
Perry Hall, MD 21128-9854  
Office: 410-404-4713

ARCHITECTURAL SYMBOLS AND MATERIALS

SPOT ELEVATION OR LEVEL ELEVATION

EXISTING COLUMN GRID

ROOM NAME AND NUMBER

DOOR OPENING/BORROWED LIGHT

DEMOLITION KEYNOTE

KEYNOTE

PARTITION WALL TYPE

WINDOW TYPE

REVISION

FURNITURE, FIXTURE & EQUIPMENT

DETAIL NO - TYP

EXTERIOR ELEVATION, WALL SECTION, BLDG SECTION

SHEET NO - TYP

INTERIOR ELEVATION

INTERIOR ELEVATION MULTIPLE VIEWS

DIMENSION

CONCRETE

GRAVEL, CRUSHED ROCK

INSULATION, BATT

METAL

PLYWOOD

SAND / MORTAR

EARTH

ARCHITECTURAL ABBREVIATIONS

<b>A</b> A/C AIR CONDITIONING ACC ACCESSIBLE ACQ/CS ACQUISITION ADMN ADMINISTRATION APG ACOUSTICAL PANEL CLG ADJ ADJUSTABLE ADJACENT AFF ABOVE FINISHED FLOOR AGGR AGGREGATE AHU AIR HANDLING UNIT ALT ALTERNATE ALM ALUMINUM ANDD ANDRIZED APPROX APPROXIMATELY ASST ASSEMBLY AVG AVERAGE	<b>B</b> BB BULLETIN BOARD BC BOOKCASE BD BOARD BDM BITUMINOUS BLDG BUILDING BLKHD BULKHEAD BOT BOTTOM BSMT BASEMENT BTM BETWEEN BUR BUILT-UP ROOFING	<b>C</b> CAB CABINET CD CONSTRUCTION DOCUMENTS CER CERAMIC CFMF GOLD FORMED METAL FRAMING CG CONTROL JOINT CLG CEILING CLS GLOSET CLR CLEAR CMU CONCRETE MASONRY UNIT CO CASED OPENING COL COLUMN CONF CONFERENCE CONSTR CONSTRUCTION CONT CONTIGUOUS COORD COORDINATE CORR CORROSION CST CAST STONE CSK CASHPK CT CERAMIC TILE CNTR CENTER CN GOLD WATER	<b>D</b> DBL DEEP DEPTH DEG DEGREE DEMO DEMOLITION DEPT DEPARTMENT DET DETAIL DF DRINKING FOUNTAIN DIA DIAMETER DIFF DIFFERENCE DIM DIMENSION DIV DIVISION DWP DIVISION DWZ DEIONIZED WATER DR DAMPROOFING DS DOCUMENT DNI DRAIN DWS DOWNSPOUT DWSH DRAINING	<b>E</b> EA EAST EACH EXTERIOR INSULATION EIFS FINISH SYSTEM EJ EXPANSION JOINT EL ELEVATION ELEC ELECTRIC ELEV ELEVATOR EMER EMERGENCY ENCL ENCLOSURE EP ELECTRICAL PANEL EQ EQUAL EQU EQUIPMENT EXIST EXISTING EXT EXTERIOR EXTINGUISHER EWC ELECTRIC WATER COOLER EWS EYE WASH STATION	<b>F</b> FC FILE CABINET FC BRK FACE BRICK FLR FLOOR FDN FOUNDATION FE FIRE EXTINGUISHER FFIE FIRE EXTINGUISHER CAB FHC FIRE HOSE CABINET FRT FIRE-RETARDANT-TREATED FIN FINISH FIN FLR FINISH FLOOR FLOORING FLOORING FLASH FLASHING FLEX FLEXIBLE FLR FLOOR FLUOR FLUORESCENT FOM FACE OF MALL FP FIRE PROTECTION FRMS FRAMING FRZ FREEZER FT FEET OR FOOT FTG FOOTING FURN FURNITURE	<b>G</b> GA GALVANIZED GEN GENERAL GL GLASS GFRK GYPSUM BOARD GFRK BD GYPSUM BOARD GFRK REINFORCED CONCRETE	<b>H</b> HIGH HIGH H/CN HOT AND COLD WATER HAZ MAT HAZARDOUS MATERIALS HOSE BIBB HOSE BIBB HC HOLLOW CORE HDM HOLLOW METAL HM HOLLOW METAL HORIZ HORIZONTAL H/KP/H HOUSEKEEPING HT HEIGHT HVAC HEATING, VENTILATING AND A/C HW HOT WATER HWY HIGHWAY	<b>I</b> ID INSIDE DIAMETER, IDENTIFICATION INCL INCLUDED INFO INFORMATION INSUL INSULATION INT INTERIOR	<b>J</b> JAN JANITOR	<b>K</b> KIT KITCHEN KO KNOCKOUT KPL KICK PLATE	<b>L</b> LAB LABORATORY LAM LAMINATE LAV LAVATORY LB LB LF LEFT-HAND LH LEFT-HAND LIB LIBRARY LIN LINEAR LL LOWER LEVEL LOC LOCATION LPT LOW POINT LT LIGHT LT GA LIGHT GAGE LT HT LIGHTHEIGHT LVR LOUVER LWC LIGHTWEIGHT CONCRETE	<b>M</b> MACH MACHINE MAINT MAINTENANCE MATL MATERIAL MAX MAXIMUM MECH MECHANICAL MEMB MEMBRANE METL METAL MEZZ MEZZANINE MFG MANUFACTURING MFR MANUFACTURER MGT MANAGEMENT MIMM MINIMUM WHITE MISC MISCELLANEOUS MTO MASONRY OPENING MTD MOUNTED MTG MEETING	<b>N</b> NORTH NOT APPLICABLE NA NOT APPLICABLE NATL NATIONAL NG NATURAL GAS NIC NOT IN CONTRACT NO NUMBER NOM NOMINAL NTS NOT TO SCALE	<b>O</b> O OXYGEN OA OVERALL OC ON CENTER OD OUTSIDE DIAMETER OD OVERFLOW DRAIN OFF OFFICE OH OVERHEAD DOOR OPH OPPOSITE HAND OPNG OPENING OPP OPPOSITE OPT OPTION, OPTIONAL ORD OVERFLOW ROOF DRAIN ORIG ORIGINAL OZ OUNCE	<b>P</b> PAR PARALLEL PART PARTIAL PAT PATTERN PERP PERPENDICULAR PH PENTHOUSE PKG PACKAGE PL PROPERTY LINE PLAM PLASTER LAMINATE PLAS PLYWOOD PLYND PLYWOOD PNL PANEL PAIR PAIR PARK PARKING PRELIM PRELIMINARY PREP PREPARATION PREV PREVIOUS PROJ PROJECT PSI POUNDS PER SQ IN PTN PARTITION	<b>Q</b> QT QUARRY TILE QTR QUARTER QTY QUANTITY QUAD QUADRANT	<b>R</b> R RIBER, RADIUS RAD RESEARCH & DEVELOPMENT RCP REFLECTED CEILING PLAN RD ROOF DRAIN ROAD REBAR REINFORCING STEEL BARS REF REFRIGERATOR, REFERENCE REFN REINFORCE RESL RESILIENT REST RESTROOM REQD REQUIRED REV REVISION RH RIGHT HAND RM ROOM RO ROUGH OPENING ROM RIGHT OF WAY RTU ROOF TOP UNIT RHL RAIN WATER LEADER	<b>S</b> S SOUTH SC SOLID CORE SCHEM SCHEDULE SCHEM SCHEMATIC SD STORM DRAIN SECT SECTION SHT SHEET SMLR SIMILAR SK SKETCH SPEC SPECIFICATION SQ SQUARE SQ FT SQUARE FEET SQ IN SQUARE INCH SS STAINLESS STEEL ST STREET STA STATION STD STANDARD STOR STORAGE STRUT STRUCTURAL STRUT STRUCTURAL SUSP SUSPENDED SYM SYMBOL SYMM SYMMETRICAL	<b>T</b> T TREAD TAB TOP & BOTTOM T&G TONGUE & GROOVE TECH TECHNICAL TEL TELEPHONE TEMP TEMPORARY THRSZ THRESHOLD THRSZ THRESHOLD THRSZ THRESHOLD TKBD TASKBOARD TOC TOP OF CONC TOM TOP OF MASONRY TOPO TOPOGRAPHY TOP TOP OF STEEL TOP OF SLAB TOW TOP OF WALL TS TUBE STEEL TV TELEVISION TYP TYPICAL	<b>U</b> UNFIN UNFINISHED UN UNLESS OTHERWISE NOTED UTIL UTILITY	<b>V</b> VAC VACUUM VAR VARIES VB VINYL BASE VGT VINYL COMPOSITION TILE VERT VERTICAL VEST VESTIBULE VIF VERIFY IN FIELD VWC VINYL WALL COVERING	<b>W</b> W WITH W/O WITHOUT W/O WITHOUT WBL WOOD BLOCKING WC WATER CLOSET WD WOOD WDR WINDOW WH KEEP HOLE WHSE WAREHOUSE WP WATERPROOFING, WORKING POINT WPCOT WAINSCOT WT WEIGHT WTR WATER	<b>X</b> XFRM TRANSFORMER	<b>Y</b> YD YARD
-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------	-------------------------	----------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------	---------------------

DRAWING LIST

SHEET #	SHEET NAME	06/17/13 PERMIT	06/17/13 CD	06/06/13 CD
<b>ARCHITECTURALS</b>				
G-001	COVER SHEET	•	•	•
G-002	CODE ANALYSIS & FIRE PROTECTION PLANS	•	•	•
D-101	DEMOLITION PLAN	•	•	•
A-101	FIRST FLOOR PLANS	•	•	•
A-102	SECOND & THIRD FLOOR PLANS	•	•	•
A-112	SECOND & THIRD FLOOR REFLECTED CEILING PLANS	•	•	•
A-122	SECOND & THIRD FLOOR FINISHES PLANS	•	•	•
A-401	ENLARGED FLOOR PLANS & ELEVATIONS	•	•	•
A-402	ENLARGED FLOOR PLANS & ELEVATIONS	•	•	•
A-411	INTERIOR ELEVATIONS & DETAILS	•	•	•
A-601	SCHEDULES	•	•	•
<b>PLUMBING</b>				
P-001	GENERAL NOTES, ABBREVIATIONS, LEGEND & SCHEDULES	•	•	•
P-101	BASEMENT AND FIRST FLOOR PLAN - PLUMBING NEW WORK	•	•	•
P-102	SECOND AND THIRD FLOOR PLAN - PLUMBING NEW WORK	•	•	•
P-401	PART PLAN PLUMBING	•	•	•
P-601	RISER DIAGRAMS	•	•	•
<b>MECHANICAL</b>				
M-001	GENERAL NOTES, ABBREVIATIONS, LEGEND & SCHEDULES	•	•	•
M-101	SECOND AND THIRD FLOOR PLAN - HVAC NEW WORK	•	•	•
M-102	ROOF PLAN - HVAC NEW WORK	•	•	•
<b>ELECTRICAL</b>				
E-001	LEGEND, ABBREVIATIONS, NOTES & SCHEDULE	•	•	•
E-101	BASEMENT DEMOLITION & POWER PLANS	•	•	•
E-102	SECOND FLOOR LIGHTING & POWER PLANS	•	•	•
E-103	THIRD FLOOR LIGHTING & POWER PLANS	•	•	•
E-201	POWER RISER DIAGRAMS	•	•	•
E-301	SCHEDULES	•	•	•

REVISIONS		
NO	DATE	DESCRIPTION
	20 May 13	ELECTRICAL DRAWINGS
	17 June 13	PERMIT SUBMISSION
	6 August 13	CD SUBMISSION

PROJECT NO:	13007-00	<b>G-001</b>
DATE:	06-13-13	

# CODE ANALYSIS

## PROJECT DESCRIPTION

THE BUILDING HAS THREE FULL FLOORS ABOVE GRADE WITH A BASEMENT. THE EXTERIOR WALLS OF THE BUILDING ARE CAVITY WALL CONSTRUCTION (BRICK & CMU) WITH NO THERMAL INSULATION. THE EXISTING WINDOWS ARE SINGLE PANE, WOOD FRAME. THE ROOF IS LOW-SLOPE BUILT-UP ROOF WITH LITTLE OR NO INSULATION WITH INTERNAL ROOF DRAINS AND NO PARAPETS. ALL FLOORS AND THE ROOF STRUCTURE ARE CONSTRUCTED OF CONCRETE PLANKS WITH CONCRETE TOPPING SUPPORTED BY CMU BEARING WALLS AND A FEW CONCRETE COLUMNS.

## APPLICABLE CODES

- INTERNATIONAL EXISTING BUILDING CODE (IEBC) / 2012
- INTERNATIONAL MECHANICAL CODE / 2012
- NATIONAL ELECTRIC CODE / 2011
- NATIONAL STANDARD PLUMBING CODE / 2009
- INTERNATIONAL ENERGY CODE / 2012
- NFPA 1 - FIRE PREVENTION CODE / 2004
- NFPA 13 - INSTALLATION OF SPRINKLER SYSTEMS
- NFPA 12-99 NATIONAL FIRE ALARM CODE
- NFPA 101 - LIFE SAFETY CODE / 2009
- COMAR 05.02.02 ADA/ADAAG MARYLAND ACCESSIBILITY CODE

## 3.1 BUILDING USE & TYPE OF CONSTRUCTION

OCCUPANCY TYPE: NON SEPARATED MIXED USE OCCUPANCIES

- IBC 302: RESIDENTIAL (R), ASSEMBLY (A), STORAGE (S), BUSINESS (B)
- NFPA 101 6.1.2: RESIDENTIAL, 6.1.2; ASSEMBLY & 6.1.1; BUSINESS
- NFPA 13 4 13-R.

SPACE	OCCUPANCY	CLASSIFICATION
3RD FLOOR	CONVENT/ASSEMBLY	R-2 (A)
2ND FLOOR	CONVENT/ASSEMBLY	R-2 (A)
1ST FLOOR	OFFICE	B
BASEMENT	STORAGE/ MECH	S

(ACCESSORY USE)

IBC 302: RESIDENTIAL (R), ASSEMBLY (A), STORAGE (S), BUSINESS (B)

303.1.2 SMALL ASSEMBLY SPACES:  
THE FOLLOWING ROOMS AND SPACES SHALL NOT BE CLASSIFIED AS ASSEMBLY OCCUPANCIES:  
2. A ROOM OR SPACE USED FOR ASSEMBLY PURPOSES THAT IS LESS THAN 750 SF IN AREA AND ACCESSORY TO ANOTHER OCCUPANCY SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY OR AS PART OF THAT OCCUPANCY.

TYPE OF CONSTRUCTION:

IBC TABLE 601 - TYPE IIB, NON-COMBUSTIBLE MATERIALS

## 3.2 SPECIAL OCCUPANCY REQUIREMENT- INCIDENTAL USE AREAS (IBC 2012 TABLE 509)

SPACE	SEPARATION/PROTECTION
FURNACE ROOM (OVER 400,000 BTU EQUIPMENT)	1 HR OR AUTOMATIC SPRINKLERS
BOILER ROOM (OVER 15 PSI AND 10 HORSE POWER EQUIPMENT)	1 HR OR AUTOMATIC SPRINKLERS
LAUNDRY ROOM (OVER 100 SF)	1 HR OR AUTOMATIC SPRINKLERS
STORAGE (OVER 100 SF)	1 HR OR AUTOMATIC SPRINKLERS
WASTE AND LINEN COLLECTION (OVER 100 SF)	1 HR OR AUTOMATIC SPRINKLERS

## 3.3 EXTERIOR WALL FIRE RATING DUE TO DISTANCE

EQUAL TO OR GREATER THAN 30 FT. 0 HR.

## 3.4 OCCUPANCY CALCULATIONS :

PER IBC 2012 (TABLE 1004.1.2):

FLOOR	OCCUPANCY	SF/OCCUPANT	TOTAL
3rd FLOOR:			
635 SF / 425 SF	ASSEMBLY	15 NET	42
3871 SF	RESIDENTIAL (R-2)	200 GROSS	19
200 SF	STORAGE	300 GROSS	1
TOTAL			62
2nd FLOOR:			
640 SF	ASSEMBLY	7 NET	98
3871 SF	RESIDENTIAL (R-2)	200 GROSS	19
200 SF	STORAGE	300 GROSS	1
TOTAL			118
1st FLOOR:			
6635 GSF	BUSINESS	100 GROSS	66
TOTAL			66
BASEMENT:			
1564 SF	STORAGE/ MECHANICAL	300 GROSS	5
TOTAL			5
TOTAL BUILDING OCCUPANCY			251

## 5.1 ALLOWABLE HEIGHT & AREA

	ACTUAL AREA (SF)	ALLOWABLE AREA (SF) PER IBC 506
CONVENT	6635 SF	16,000 SF

PER IBC TABLE 503 FOR TYPE IIB CONSTRUCTION USE GROUP R-2:

- ALLOWABLE TABULATED AREA AND HEIGHT: 16,000 SQ.FT. AND 4 STORIES
- AUTOMATIC SPRINKLER SYSTEM INCREASE (IBC SECTION 506.3): 200% \*
- FRONTAGE INCREASE (IBC SECTION 506.2)
- ACTUAL FIRST FLOOR AREA: 6635 SQ.FT.

CALCULATION  
AUTOMATIC SPRINKLER SYSTEM INCREASE: 200% X 16,000 = 32,000 SF  
FRONTAGE INCREASE: 0 SF  
AREA ALLOWED/FLOOR: 16,000 SF X 32,000 SF = 48,000 SF  
TOTAL AREA ALLOWED: 48,000 SF X 3 STORIES = 144,000 SF

ALLOWABLE HEIGHT: 5 STORIES  
ACTUAL HEIGHT: 3 STORIES PLUS BASEMENT

## 6.1 CONSTRUCTION CLASSIFICATION

BUILDING FIRE RATINGS:

IBC-2012 (TABLE - 601) NFPA - 2009 (TABLE A.8.2.1.2)	IBC 2012 TYPE IIB	NFPA 2009 TYPE II
STRUCTURAL FRAME	0	
EXTERIOR BEARING WALL	0	
EXTERIOR NONBEARING WALL	0	
INTERIOR BEARING WALL	0	
INTERIOR NONBEARING WALL	0	
FLOOR CONSTRUCTION	0	
ROOF CONSTRUCTION	0	

## 6.2 COMBUSTIBLE MATERIAL IN TYPE II CONSTRUCTION

- (IBC SECTION 603)  
FIRE-RETARDANT-TREATED WOOD SHALL BE ALLOWED IN:  
1. NONBEARING PARTITIONS (LESS THAN 2 HR WALL)  
2. NONBEARING EXTERIOR WALLS WITH NO FIRE RATING  
3. ROOF CONSTRUCTION  
4. THERMAL & ACOUSTIC INSULATION WITH A FLAME SPREAD LESS THAN 25  
5. FOAM PLASTIC (SEE IBC SECTION 26)  
6. ROOF COVERINGS OF A, B, & C CLASSIFICATIONS  
7. INTERIOR WOOD FLOORS, PANELING, TRIM, DOORS, ETC. PLATFORMS PER IBC 410  
8. BLOCKING FOR HANDRAILS, CABINETS, WINDOW & DOOR FRAMES  
9. MASTICS AND SEALANTS  
10. NAILING AND FURRING STRIPS

## 7.1 FIRE-RESISTANCE RATING REQUIREMENTS

BUILDING FIRE RATINGS:

IBC-2012 (TABLE 716.5) NFPA - 2009 (TABLE A.8.2.1.2)	IBC 2012 TYPE IIB	NFPA 2009 TYPE II
FIRE WALLS - USE GROUP R-2, B PROTECTIVE OPENING RATING (706.3.9 & 715.4) (OTHER FIRE BARRIERS: 3/4 HR.)	2 1 1/2	
FIRE ENCLOSURE OF EXITS (1020.1) PROTECTIVE OPENING RATING	1 1	
*EXTERIOR WALL IN A EXIT: NO RATING TABLES 601 & 602		
SHAFTS AND ELEVATOR HOIST WAYS PROTECTIVE OPENING RATINGS (107.4 / 8.6.5)	1 < 4 STORIES 1	
SMOKE BARRIER EXIT ENCLOSURE, IBC 1019.1: 1 HR. ENCLOSURE	0	
CORRIDOR WALLS, IBC 108.1.4 & TABLE 1018.1	R: 0.5	

\*GLAZING IN EXIT ENCLOSURE DOORS, IBC 715.3.4.1: 100 SQ. IN. AREA

\*FIRE DOORS CLOSING, IBC 715.4.1:  
DOORS SHALL BE SELF-CLOSING  
DOORS SHALL BE SECURED W/ LATCH WHEN CLOSED

## 7.2 DWELLING AND SLEEPING UNIT SEPARATION IN TYPE IIB :

- IBC 708.3:  
NOT LESS THAN 1/2 HR IN BUILDING EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM

## 7.3 DUCTS & AIR TRANSFER OPENINGS:

FIRE BARRIER DAMPERS, IBC 716.5.2:

## 7.4 REFUSE AND LAUNDRY CHUTES

- IBC 707.1.1:  
SHAFT WALL-1 HR RATED (707.4)  
REFUSE AND LAUNDRY CHUTE ACCESS ROOM: 1HR RATED (707.1.3.3)  
DOOR: .75 HR & SMOKE ACTIVATED DOOR (715.4.1.3)

## 7.5 ELEVATOR AND DUMBWAITER

- IBC 707.4:  
SHAFT WALL-1HR RATED (707.4)

## 8.1 INTERIOR FINISH REQUIREMENTS: WALL & CEILING

IBC-2012 (TABLE - 803.9) NFPA - 2009 (TABLE A.10.2.2)	CLASS		
	R-2	B	A-3
VERTICAL EXITS & PASSAGEWAYS:	C	B	B
CORRIDORS:	C	C	B
ROOMS & ENCLOSED SPACES:	C	C	C

## 8.2 INTERIOR FINISH REQUIREMENTS: FLOOR (IBC 804.1)

CLASSIFICATION, IBC 804.4.1 EXCEPTION: FINISH MUST COMPLY WITH DOC FF-1 "PILL TEST"

## 9.1 FIRE PROTECTION SYSTEM REQUIREMENTS:

- PROTECTION SYSTEMS SHALL BE INSTALLED, REPAIRED, OPERATED AND MAINTAINED IN ACCORDANCE WITH IBC 2012
- SUPERVISORY SERVICE, IBC 901.6.1: AUTO. SPRINKLER SYSTEMS SHALL BE MONITORED BY AN APPROVED SUPERVISING STATION.
- SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13

	REQUIRED	IBC 2012	NFPA 2009	PROVIDED
AUTOMATIC SPRINKLERS:	YES	903.3.1.1	9.7.1.1	YES
ALT. AUTOMATIC FIRE SPRINKLER:	NO*	904.2	9.7.3.1	NO
STANDPIPE SYSTEM:	NO**	905.1	9.7.4.2	NO
PORTABLE FIRE EXTINGUISHERS:	YES	906.1	9.7.4.1	YES
FIRE ALARM SYSTEM:	YES	907.2	9.6.7.1	YES
SMOKE CONTROL SYSTEM:	NO	909.1	9.3.1	NO

\*WHERE REQUIRED PER 904.2.1: COMMERCIAL HOOD AND DUCT SYSTEMS

\*\* STANDPIPES, IBC 905.1: NOT REQUIRED DUE TO BUILDING HT. PORTABLE FIRE EXTINGUISHERS, IBC 906.1: LOCATE & INSTALL PER NFPA 10 FIRE ALARM & DETECTION SYSTEM, IBC 907: WHERE REQUIRED, IBC 907.2.2: GROUP B NOT REQUIRED DUE TO OCCUPANCY LOAD / OCCUPANTS ON 2ND FLOOR @ 1 OCC. PER 100 SF)

## 10.1 MAXIMUM TRAVEL DISTANCE TO EXIT:

IBC-2012 (TABLE - 1016.2) WITH SPRINKLER	USE GROUP R-2
250'	
NFPA - 2009 (TABLE A.7.6) WITH SPRINKLER	325'/200'
PROVIDED	63' MAX

## 10.2 COMMON PATH OF EGRESS TRAVEL:

IBC-2012 (1014.3) WITH SPRINKLER	B, A	R-2
100'/75'	125'	
NFPA - 2009 (TABLE A.7.6) WITH SPRINKLER	NR/100'/75'	160'
ACTUAL MAXIMUM TRAVEL DISTANCE	60'	60'

## 10.3 MINIMUM CORRIDOR WIDTH REQUIREMENTS:

	REQD.	PROVIDED
IBC-2012 (1018.2)	44" MIN.	70"
NFPA - 2009 (302.3.2)	44" MIN.	70"

## 10.4 MAXIMUM DEAD END / DISTANCE:

USE GROUP:

IBC-2012 (1018.4) WITH SPRINKLER	REQUIRED	PROVIDED
50'	50'	LESS THAN 20'
NFPA - 2009 (TABLE A.7.6) WITH SPRINKLER	50'	

ALL DEAD END CORRIDORS ARE WITHIN THE 20' MAXIMUM DISTANCE.

## 10.5 EGRESS WIDTH PER OCCUPANT:

(IBC 1005.1/ NFPA 101 GOVERNS):

	REQUIRED		PROVIDED	
	STAIRS	OTHER EGRESS	STAIRS	OTHER EGRESS
BASEMENT	0.3"	0.2"		
FIRST FLOOR	1.5"	N/A	91"	N/A
SECOND FLOOR	19.8"	N/A	150"	56"
THIRD FLOOR	35.4"	N/A	150"	N/A
THIRD FLOOR	18.6"	N/A	100"	N/A

## 10.6 BOILER, INCINERATED AND FURNACE ROOMS (IBC 1015.3)

- 2 EXITS REQUIRED IF >500 SF AND ANY FUEL FIRED EQUIP. EXCEEDS 400 K. BTU; ONE PERMITTED TO BE A FIXED LADDER (N/A)

## 10.7 GUARDS & BALUSTRADES

- WHERE REQUIRED, IBC 1011.1:  
OPEN-SIDED STAIRS, RAMPS, LANDINGS AND FLOOR SURFACES LOCATED MORE THAN 30 IN. ABOVE THE GRADE OR FLOOR BELOW
- HEIGHT, IEBC & NFPA 101: 30 IN. MIN. HEIGHT
- OPENING LIMITATIONS: UP TO 8" OPENING AS ALLOWED BY AHJ

## 10.8 PANIC HARDWARE

IBC 2006 1008.1.10  
GROUP A: SPACE WITH OCCUPANCY LOAD >50

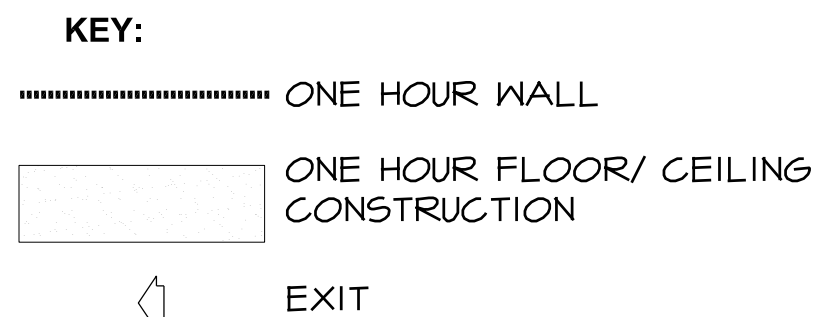
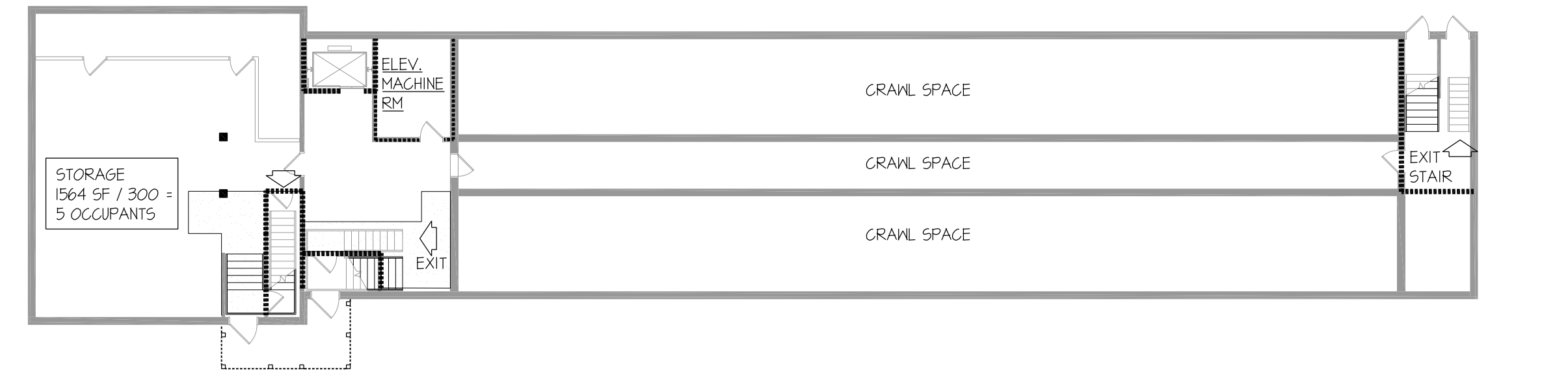
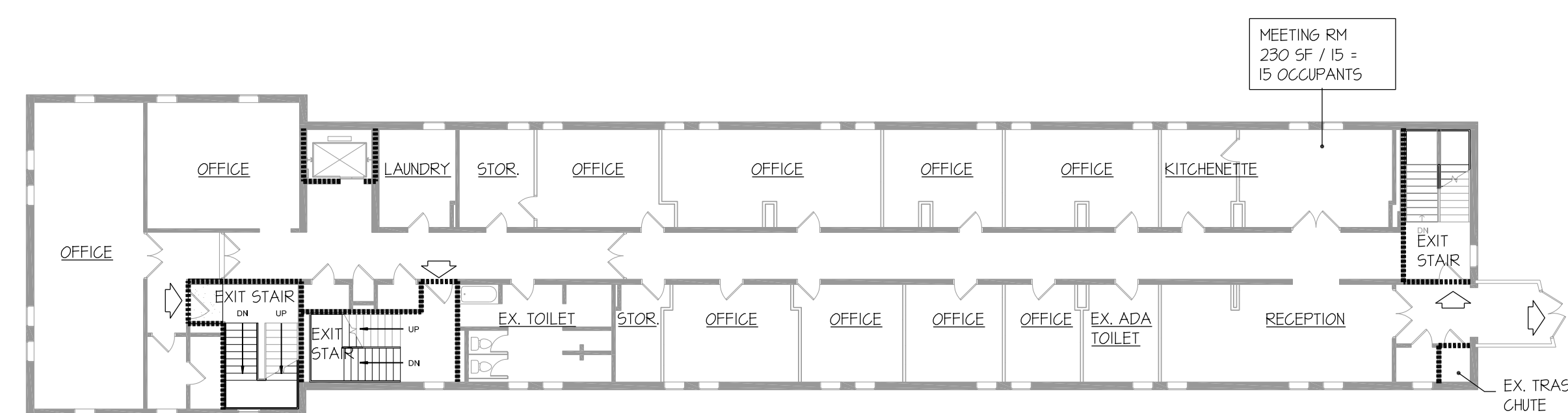
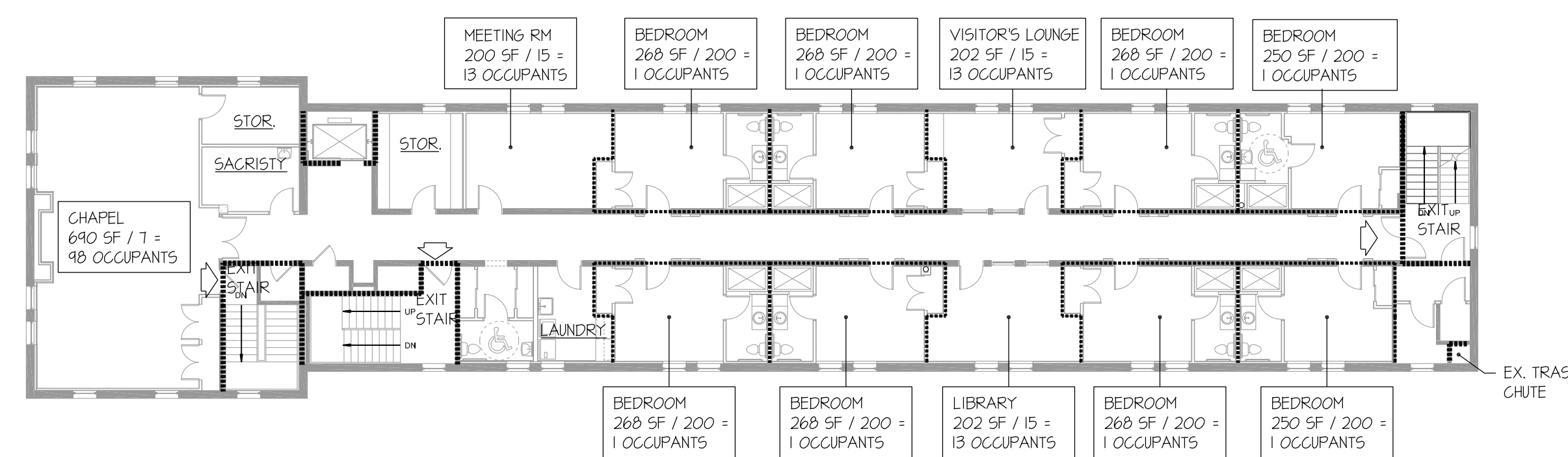
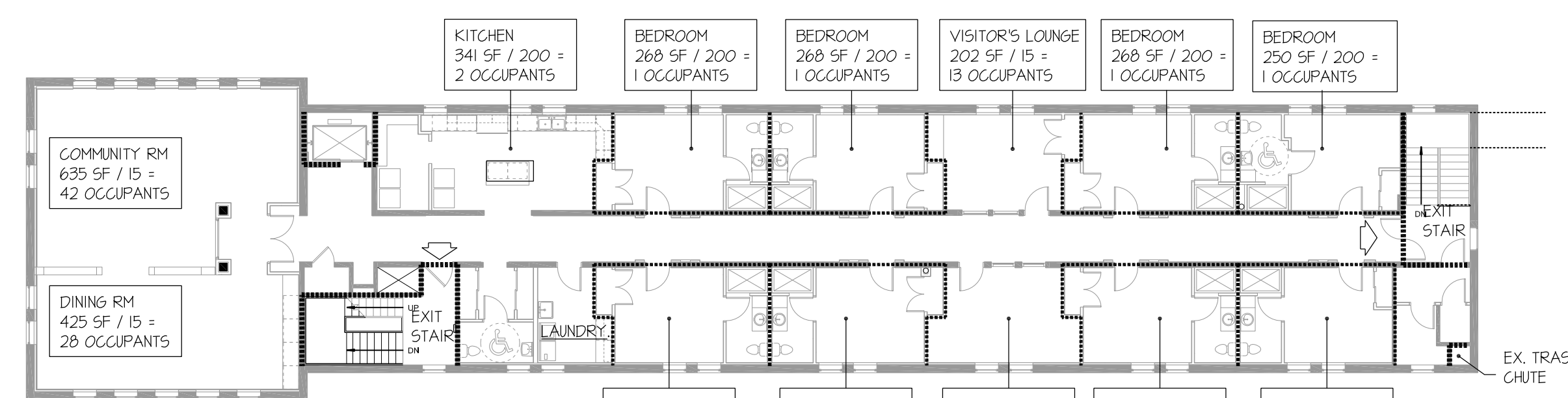
## 11.1 ACCESSIBLE TOILETS AND UNITS

SPACE	OCCUPANCY	CLASSIFICATION	ACCESSIBLE	TYPE A	TYPE B
3RD FLOOR	CONVENT	R-2	4% OF 8=1	1	NA
2ND FLOOR	CONVENT	R-2	4% OF 8=1	1	NA
1ST FLOOR	OFFICES	B	1	NA	NA
BASEMENT	STORAGE/ MECH	S	NA	NA	NA

## 12.1 SOUND TRANSMISSION

IBC 1207.2  
WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS FROM EACH OTHER OR FROM PUBLIC OR SERVICE AREAS SHALL HAVE A SOUND TRANSMISSION CLASS (STC) OF NOT LESS THAN 50 (45 IF FIELD TESTED) FOR AIR-BORNE NOISE WHEN TESTED IN ACCORDANCE WITH ASTM E 90.

# FIRE PROTECTION PLANS



810 Light Street Baltimore, Md 21230

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.

DGG: License No:3473 Expiration Date:4/7/2015

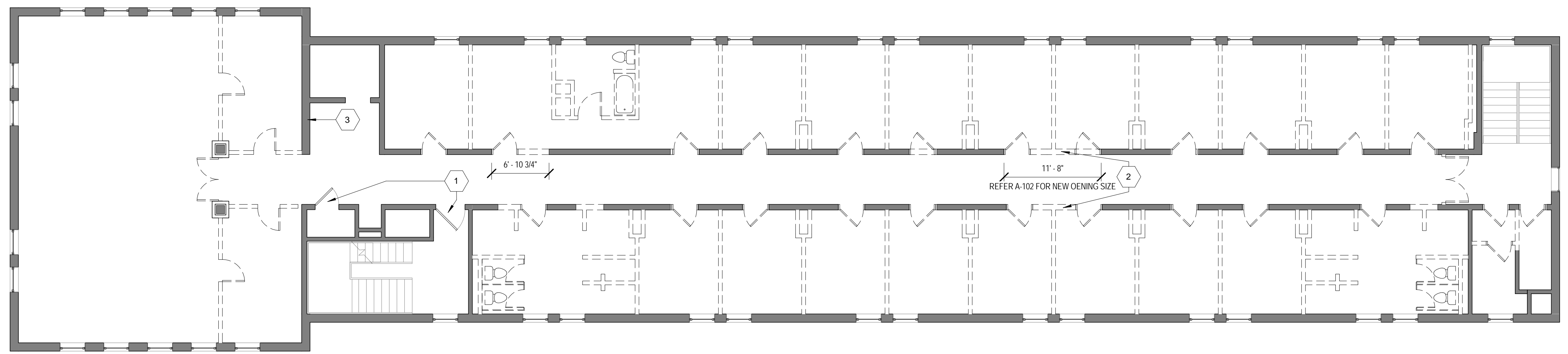
NO	DATE	DESCRIPTION
1	6-17-13	PERMIT SET

## REVISIONS

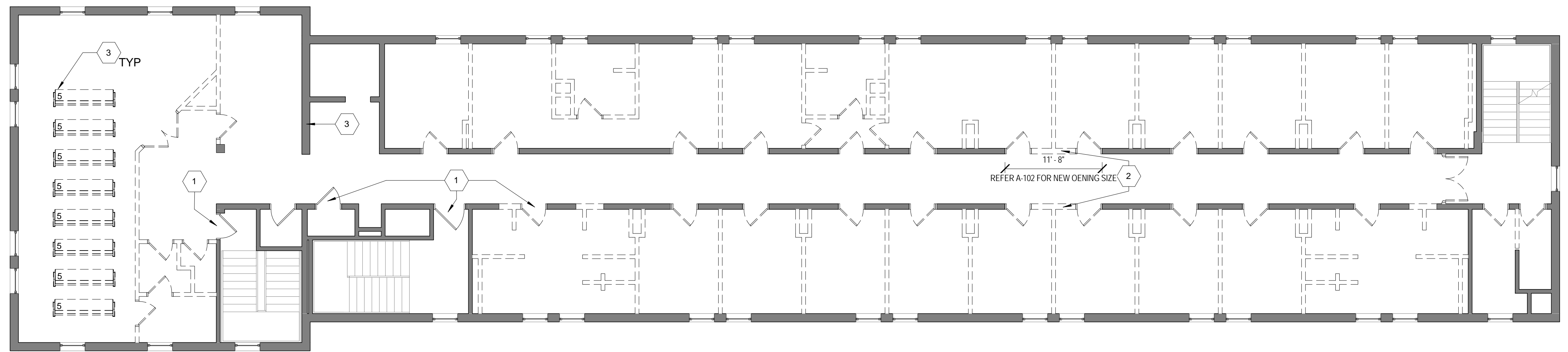
# NOTRE DAME PREP CONVENT RENOVATION

## CODE ANALYSIS & FIRE PROTECTION PLANS

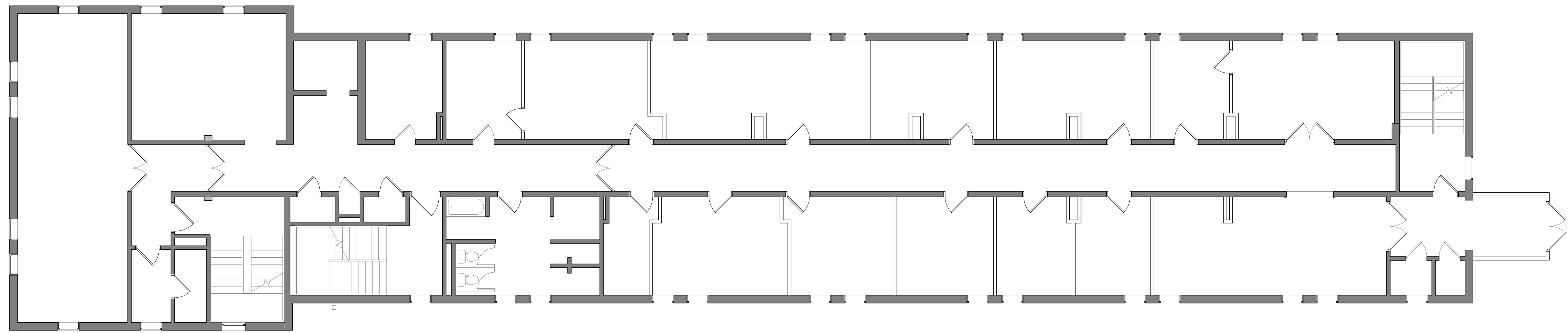
PROJ. NO.: 13007-00	DWG NO:
DRAWN BY: SRW	G-002
DATE: 06-13-13	



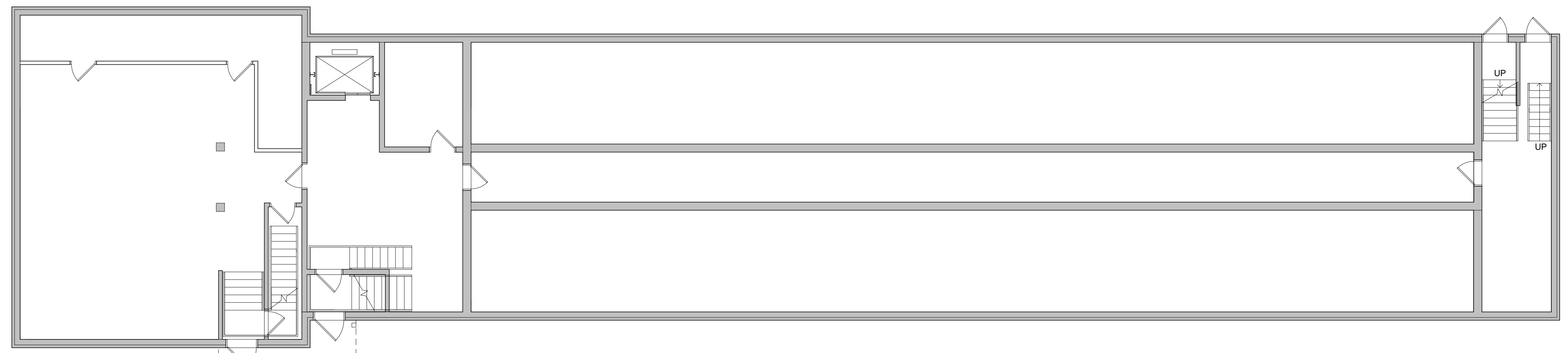
1D THIRD FLOOR DEMOLITION PLAN  
1/8" = 1'-0"



1C SECOND FLOOR DEMOLITION PLAN  
1/8" = 1'-0"



1B FIRST FLOOR DEMOLITION PLAN  
1/8" = 1'-0"



1A BASEMENT FLOOR- DEMOLITION PLAN  
1/8" = 1'-0"

**DEMOLITION KEYNOTES**

NO.	DESCRIPTION
1	EXISTING DOOR TO REMAIN
2	NEW MASONRY OPENING - PROVIDE NEW LINTEL
3	SALVAGE EXISTING PHONE BOOTHS & PEWS - TURN OVER TO OWNER

**GENERAL NOTES:**

- REMOVE EXISTING FINISHES THROUGHOUT SECOND & THIRD FLOORS UNLESS NOTED OTHERWISE, INCLUDING:
  - CEILINGS
  - FLOORING (MAY CONTAIN ASBESTOS)
  - BASE
  - DRAPERY / BLINDS
  - PANELING
- REMOVE ALL EXISTING DOORS & FRAMES UNLESS NOTED OTHERWISE
- REFER TO SHEET A-102 FOR NEW DOOR LOCATIONS IN EXISTING BEARING WALL. REUSE EXISTING LINTEL LOCATIONS WHERE FEASIBLE. PROVIDE FINISHED MASONRY OPENINGS FOR NEW 3'-0" DOORS, TYP
- EXISTING STAIR RAILINGS TO REMAIN
- REMOVE ALL EXISTING PLUMBING FIXTURES & MECHANICAL UNITS. CAP PIPING WHERE ABANDONED
- PATCH CONCRETE SLAB WHERE PIPES ARE REMOVED/ ABANDONED
- EXISTING ELEVATOR TO BE REFINISHED (NEW CAB FINISHES & CONTROLS)

**LEGEND**

- EXISTING PARTITION TO BE REMOVED
- EXISTING PARTITION TO REMAIN



810 Light Street Baltimore, Md 21230

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.

License No: 9473 Expiration Date: 4/7/2015

NO	DATE	DESCRIPTION
1	06-17-13	PERMIT SET

REVISIONS

NOTRE DAME PREP CONVENT RENOVATION

DEMOLITION PLAN

PROJ. NO.: 13007-00	DWG NO.
DRAWN BY: AR	D-101
DATE: 06-13-13	

8/20/2013 11:16:52 AM

**GENERAL NOTES**

- DEMOLITION PLANS ARE INTENDED TO INDICATE GENERAL AREAS OF DEMOLITION. PROVIDE ADDITIONAL DEMOLITION AS REQUIRED TO FULFILL NEW CONSTRUCTION.
- VERIFY DIMENSIONS AND EXISTING CONDITIONS AT PROJECT SITE PRIOR TO STARTING WORK.
- VERIFY DIMENSION AND LOCATIONS OF NEW OPENINGS TO BE CUT WITH NEW WORK PLANS AND DOORS SCHEDULES.
- SALVAGE & TURN OVER TO OWNER ALL DOOR HARDWARE, EXTRA CEILING TILE, FLOORING ETC.
- ALL HAZMAT MATERIAL WILL BE REMOVED BY OTHERS OUTSIDE THIS CONTRACT. CONTRACTOR TO NOTIFY OWNER IF ANY HAZMAT MATERIALS ARE FOUND.
- PROVIDE PRESSURE TREATED BLOCKING FOR ALL WALL MOUNTED SHELVES, CABINETS ETC
- WHERE REMOVAL OF ITEMS LEAVE HOLES AND DAMAGED SURFACES THAT WILL BE EXPOSED IN FINISH WORK, PATCH AND REPAIR TO MATCH ADJACENT SURFACES.

**DEMOLITION KEYNOTES**

- DEMOLISH EXISTING WALL AND CREATE NEW OPENING FOR DOOR.
- REMOVE EXISTING DOOR, FRAME & HARDWARE. INCREASE DOOR OPENING TO RECEIVE NEW DOOR.
- REMOVE EXISTING DOOR, FRAME & HARDWARE.
- REMOVE EXISTING DOOR.
- REMOVE EXISTING PARTITION.
- REMOVE EXISTING INTERIOR PARTITIONS, PLUMBING FIXTURES, PIPING & FINISHES.
- FLASH PATCH EXISTING CERAMIC TILE FLOOR TO PREPARE FOR NEW FLOOR FINISH. PROVIDE NEW MARBLE THRESHOLD TO MATCH NEW FLOOR ELEVATION.
- REMOVE EXISTING FLOORING, PLUMBING FIXTURES & FINISHES. REUSE EXISTING PIPING FOR NEW FIXTURES.
- REMOVE EXISTING FINISHES, APPLIANCES & CASEWORK (IF ANY). PATCH EXISTING PARTITIONS, REMOVE EXISTING FLOORING / BASE.
- REMOVE WALL PANELING, FLOORING & BASE. PREPARE SURFACES TO RECEIVE NEW FINISHES.
- REUSE EXIST LINTEL IF POSSIBLE OR PROVIDE NEW LINTEL AS REQUIRED.

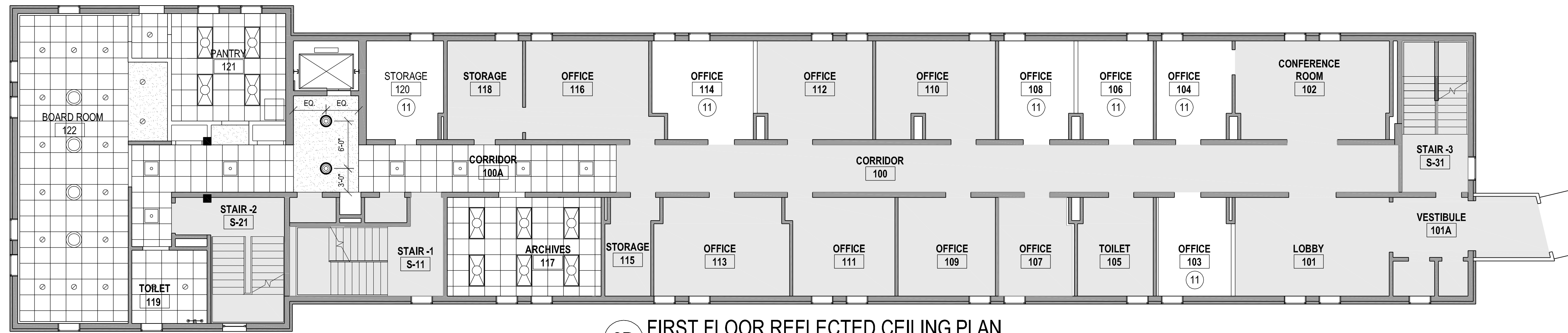
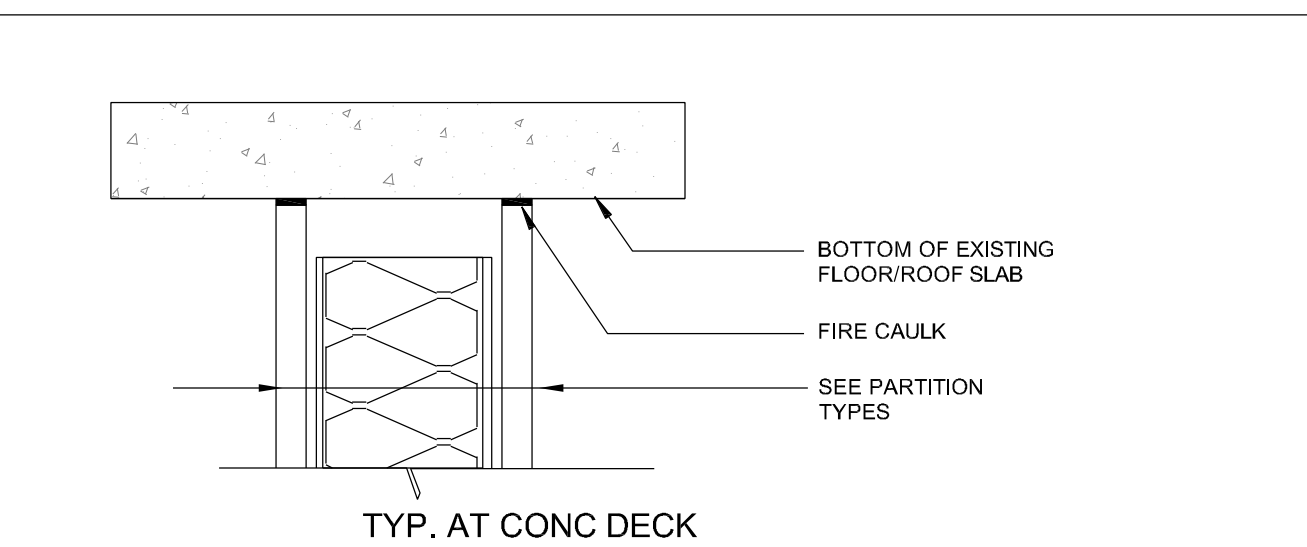
**PLAN KEYNOTES**

- EXISTING EXTERIOR DOOR TO REMAIN. SAND & REFINISH DOOR & FRAME. PROVIDE NEW GASKET, SWEEP & CLOSER.
- ADD NEW GWB PARTITION. REFER TO PARTITION SCHEDULE. ADD NEW BASE TO MATCH EXISTING. PAINT TO MATCH ADJACENT EXISTING WALLS.
- FUR OUT EXISTING PARTITION W/ 2-1/2" METAL STUDS, 3" BATT INSULATION & 5/8" GYP BD TO DECK. PAINT PARTITION & PROVIDE NEW BASE TO MATCH EXISTING.
- INSTALL NEW DOOR & FRAME. REFER TO DOOR SCHEDULE. DETAIL TO MATCH EXISTING DOOR.
- LAMINATE DRYWALL ON EXISTING CMU. INSTALL NEW FLOORING & BASE. INSTALL NEW TOILET FIXTURES, MIRROR & LIGHTING.
- FUR OUT EXISTING WALLS. INSTALL NEW CARPET & BASE. NEW LIGHTING AND CEILING REFER 2D/A-101
- PROVIDE SOLID SURFACE KITCHEN COUNTERTOP & BACK SPLASH, WITH PLAM KITCHEN CABINETS ( BELOW & ABOVE ).
- PATCH EXISTING FLOORING OR INSTALL NEW FLOORING AS REQUIRED TO MATCH EXISTING.
- LAMINATE DRYWALL ON ALL WALLS. INSTALL NEW FLOORING & BASE. REWORK EXISTING OR INSTALL NEW CEILING AS REQUIRED.
- NEW SOLID SURFACE COUNTERTOP & BACK SPLASH WITH PLAM CABINETS BELOW. PROVIDE RECEPTACLES AT COUNTERTOP HEIGHT FOR COFFEE MAKER ETC.
- REWORK LIGHTING / CEILING AS REQUIRED.
- CLOSET SHALL RECEIVE COAT ROD & SHELF.

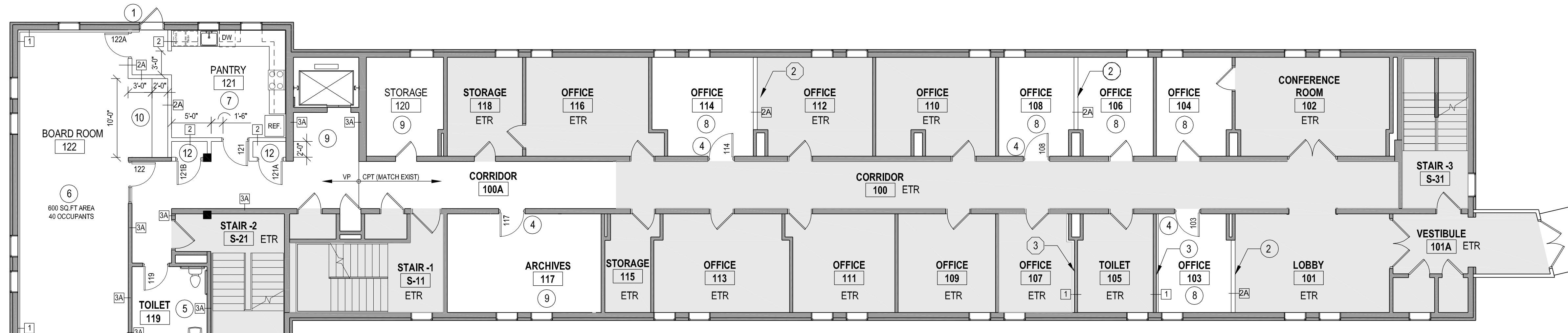
**PARTITION SCHEDULE**

MARK	FIRE RATING - UL#	STC RATING	HEIGHT
1	N/A	N/A	TO UNDERSIDE OF DECK/STRUCTURE ABOVE.
2	N/A	N/A	TO UNDERSIDE OF DECK/STRUCTURE ABOVE.
2A	N/A	N/A	TO UNDERSIDE OF DECK/STRUCTURE ABOVE.
3A	1HR - US06	N/A	TO UNDERSIDE OF DECK/STRUCTURE ABOVE.

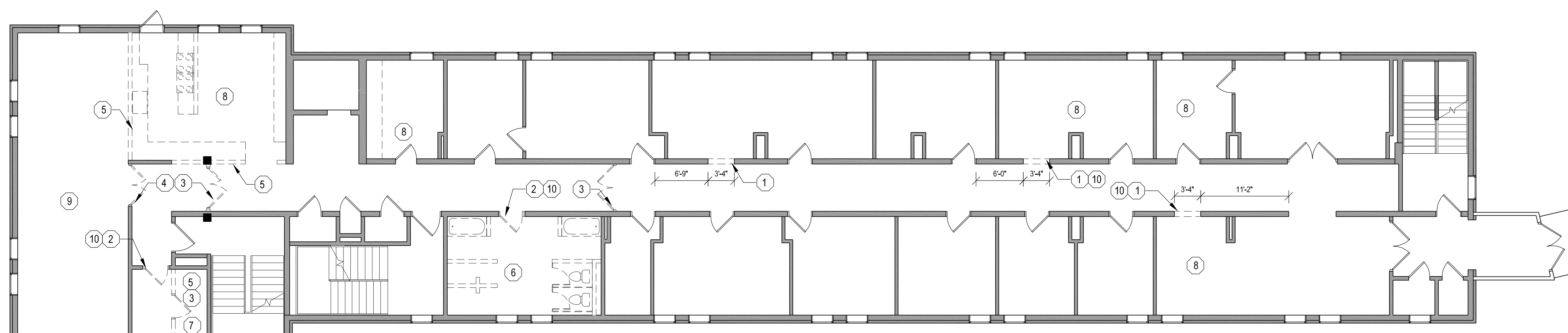
**PARTITION HEAD DETAILS**



**2D FIRST FLOOR REFLECTED CEILING PLAN**  
1/8" = 1'-0"



**2C FIRST FLOOR PLAN**  
1/8" = 1'-0"



**2B FIRST FLOOR DEMOLITION PLAN**  
1/8" = 1'-0"

**RCP LEGEND**

- 2' X 2' APC (NEW) MATCH EXISTING
- PTD GWB (NEW)
- RECESSED LIGHT 2'X4'
- RECESSED DOWNLIGHT
- VANITY LIGHT-WALL MOUNTED
- RECESSED LIGHT 2'X2' TO MATCH EXISTING
- CEILING MTD LIGHT B
- PENDANT LIGHT C (BOARD ROOM)

**PLAN LEGEND**

- ETR - EXISTING (FINISHES) TO REMAIN
- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING WALL TO REMAIN
- NEW WALL

**DEMO LEGEND**

- REMOVE DOOR
- REMOVE WALL

**DOOR AND FRAME SCHEDULE**

MARK	DOOR				FRAME				FIRE RATING	HARDWARE SET #	REMARKS		
	WIDTH	HEIGHT	THK	MATL	MATL	TYPE	HEAD	JAMB				SILL	
<b>FIRST FLOOR</b>													
103	3'-0"	7'-2"	1-3/4"	SC	C	STL	1	H7	J7	-	-	HW-E	MATCH EXISTING DOORS
108	3'-0"	7'-2"	1-3/4"	SC	C	STL	1	H7	J7	-	-	HW-E	MATCH EXISTING DOORS
114	3'-0"	7'-2"	1-3/4"	SC	C	STL	1	H7	J7	-	-	HW-E	MATCH EXISTING DOORS
117	3'-0"	7'-2"	1-3/4"	SC	C	STL	1	H7	J7	-	-	HW-E	MATCH EXISTING DOORS
119	3'-0"	7'-2"	1-3/4"	SC	C	STL	1	H1	J1	-	-	HW-C	INCREASE EXISTING DOOR OPENING (ADA)
121	3'-0"	7'-2"	1-3/4"	SC	C	STL	1	H1	J1	-	-	HW-D	
121A	3'-0"	7'-2"	1-3/4"	SC	C	STL	1	-	-	-	-	HW-A	CLOSET DOOR
121B	3'-0"	7'-2"	1-3/4"	SC	C	STL	1	-	-	-	-	HW-A	CLOSET DOOR
122	3'-0"	7'-2"	1-3/4"	SC	G	STL	4	H5	J5 & J6	S1	-	HW-B	WOOD TRIM @ DOOR 122 ONLY
122A	3'-0"	7'-2"	1-3/4"	SC	C	STL	1	H1	J1	-	-	HW-D	

SC - SOLID CORE WOOD DOORS ( VENEER & STAIN TO MATCH EXISTING ) STL - STEEL

**FINISH SCHEDULE**

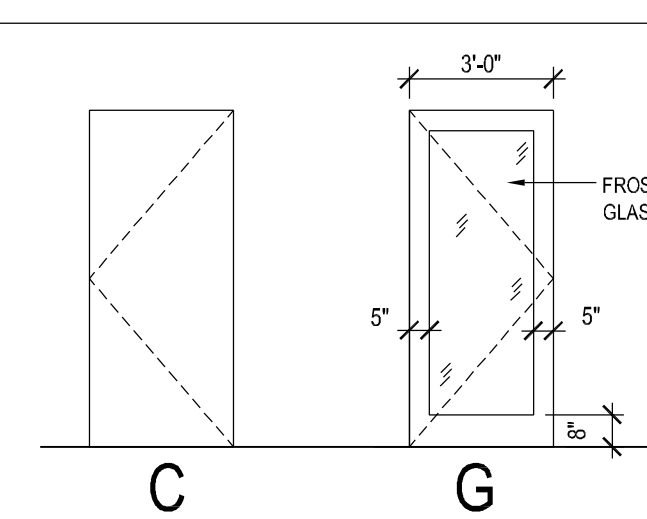
ROOM #	ROOM NAME	FINISHES				CLG MATL	CLG HT	REMARKS
		FLOOR	BASE	WALL	WET WALL			
<b>FIRST FLOOR</b>								
100A	CORRIDOR	**CPT - VP-1	*WOOD	PT	-	FACTORY	APC	MATCH EXISTING CEILING, CARPET, BASE & PAINT COLORS
103	OFFICE	**CPT	*WOOD	PT	-	FACTORY	APC	MATCH EXISTING CEILING, CARPET, BASE & PAINT COLORS
104	OFFICE	CPT	*WOOD	PT	-	EXIST	APC	MATCH EXISTING CEILING, CARPET, BASE & PAINT COLORS
106	OFFICE	**CPT	*WOOD	PT	-	FACTORY	APC	MATCH EXISTING CEILING, CARPET, BASE & PAINT COLORS
108	OFFICE	**CPT	*WOOD	PT	-	FACTORY	APC	MATCH EXISTING CEILING, CARPET, BASE & PAINT COLORS
114	OFFICE	**CPT	*WOOD	PT	-	FACTORY	APC	MATCH EXISTING CEILING, CARPET, BASE & PAINT COLORS
117	ARCHIVES	VP-1	VB	PT	-	FACTORY	APC	
119	TOILET	VP-1	VB	PT	-	FACTORY	APC	
120	STORAGE	VP-1	VB	PT	-	FACTORY	APC	
121	KITCHEN	VP-1	VB	PT	-	FACTORY	APC	
122	BOARD ROOM	CPT-3	*WOOD	PT	-	FACTORY	APC	

\* MATCH EXISTING WOOD BASE \*\* EXISTING CARPET TO REMAIN. PATCH CARPET AT THE NEW DOOR OPENING.  
CPT - CARPET VP-1 - VINYL PLANK VB - VINYL BASE APC - ACOUSTICAL PANEL CEILING

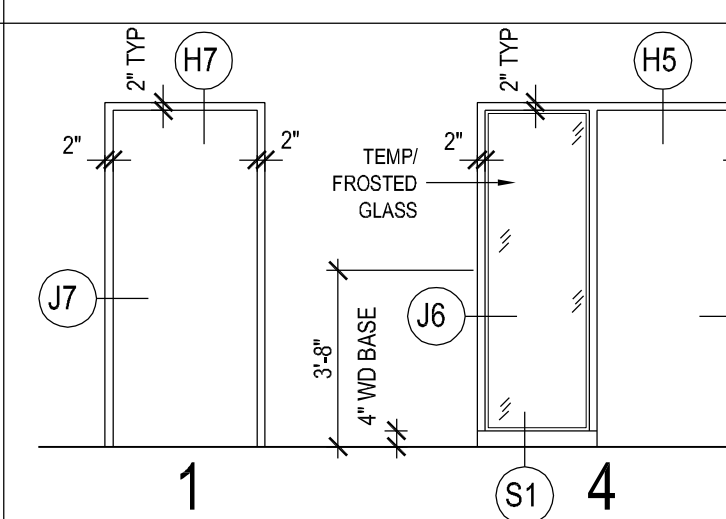
**HARDWARE SCHEDULE**

HW-A	CLOSET DOORS (SWINGING)
1	DUMMY LEVERS
3	HINGES
1 SET	SILENCERS
HW-B	BOARD ROOM
1	CLASSROOM LOCKSET / DOOR LEVERS
3	HINGES
1 SET	SILENCERS
1	HOLD-OPENS / CLOSER
HW-C	TOILET
1	PRIVACY LOCKSET W/ LEVER HANDLES
3	SPRING HINGES
1 SET	SILENCERS
HW-D	MISC. PRIVATE ROOM / KITCHEN
1	OFFICE LOCKSET W/ LEVER HANDLES
3	HINGES
1 SET	SILENCERS
HW-E	OFFICE DOOR
1	OFFICE LOCKSET W/ LEVER HANDLES
1 SET	SILENCERS

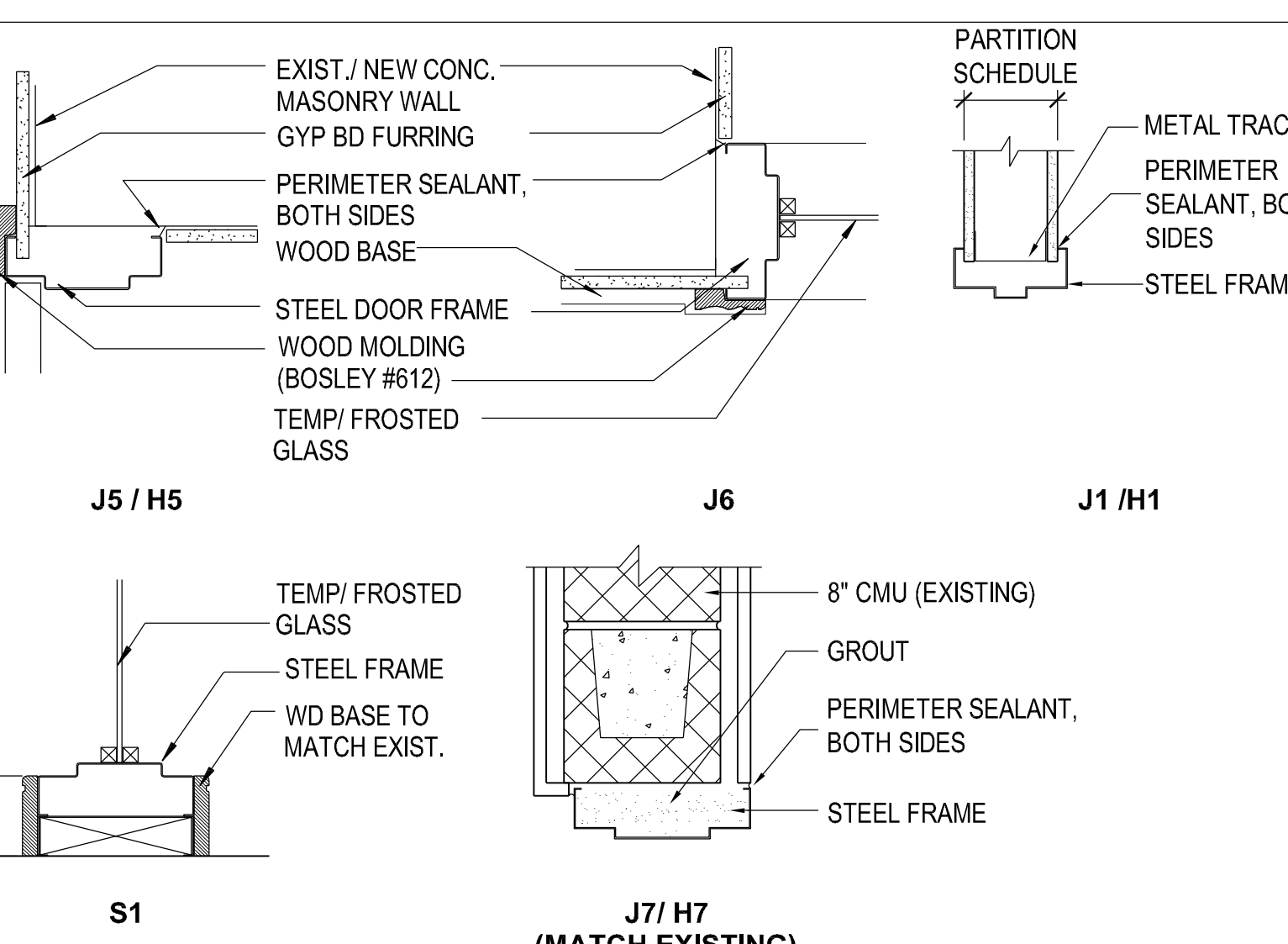
**DOOR PANEL TYPES**



**DOOR FRAME TYPES**



**DOOR DETAILS**



810 Light Street Baltimore, Md 21230

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.  
License No: 9473 Expiration Date: 4/7/2015

NO	DATE	DESCRIPTION
08-06-13		PRELIMINARY SUBMISSION

**REVISIONS**

**NOTRE DAME PREP CONVENT RENOVATION**

**FIRST FLOOR PLANS**

PROJ. NO.: 13007-00	DWG NO.
DRAWN BY: AR	<b>A-101</b>
DATE: 08-06-13	

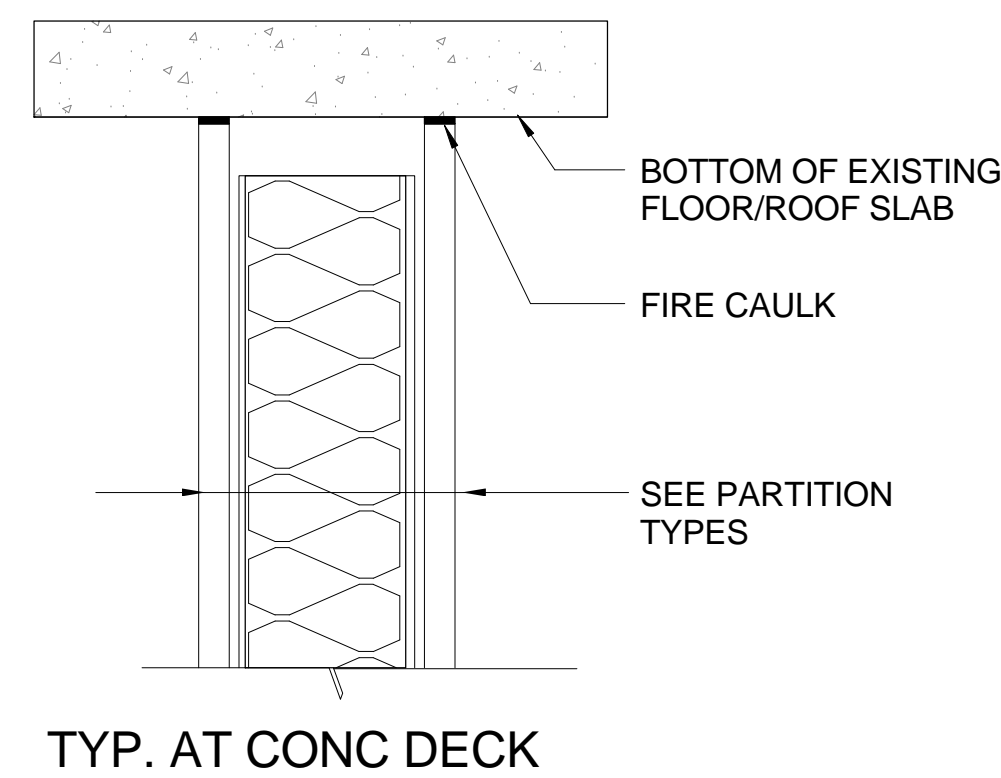
**PARTITION SCHEDULE**

	FIRE RATING - UL#	STC RATING	HEIGHT
1	---	---	TO UNDERSIDE OF DECK/STRUCTURE ABOVE.
2	---	---	TO UNDERSIDE OF DECK/STRUCTURE ABOVE.
2A	---	---	TO UNDERSIDE OF DECK/STRUCTURE ABOVE.
3	1HR - U906	---	TO UNDERSIDE OF DECK/STRUCTURE ABOVE.
3A	1HR - U906	---	TO UNDERSIDE OF DECK/STRUCTURE ABOVE.
4	1HR - U419	50 STC	TO UNDERSIDE OF DECK/STRUCTURE ABOVE.
5	1HR - U419	50 STC	TO UNDERSIDE OF DECK/STRUCTURE ABOVE.
5A	50 STC	---	TO UNDERSIDE OF DECK/STRUCTURE ABOVE.
6	1HR - U419	50 STC	TO UNDERSIDE OF DECK/STRUCTURE ABOVE.

**PARTITION NOTES**

- ALL GYP BD IN LAUNDRY ROOM, TOILETS & BATHROOMS SHALL BE MOISTURE / MOLD RESISTANT.
- ALL FIRE RATED SOUND BATT INSULATION SHALL BE THERMAFIBER OR ROXUL ROCK WOOL.
- CORRIDOR WALLS @ TYPE 3, TYP
- EXTERIOR WALLS ARE TYPE 1, TYP
- DEMISING WALLS BETWEEN BEDROOMS ARE TYPE 4, TYP
- WET WALLS AT TOILETS ARE TYPE 5 OR 6A (SEE PLAN)

**PARTITION HEAD DETAILS**

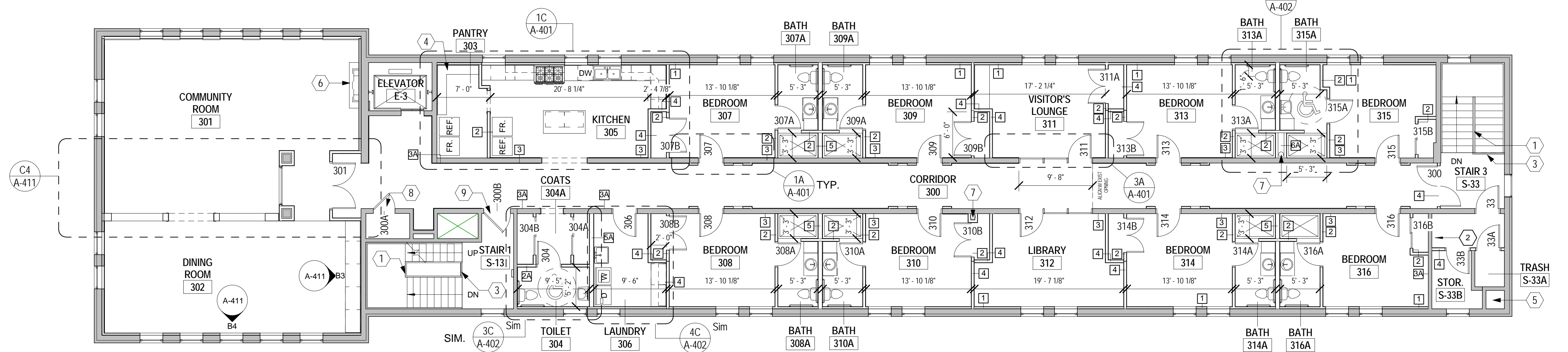


**FLOOR PLAN KEYNOTES**

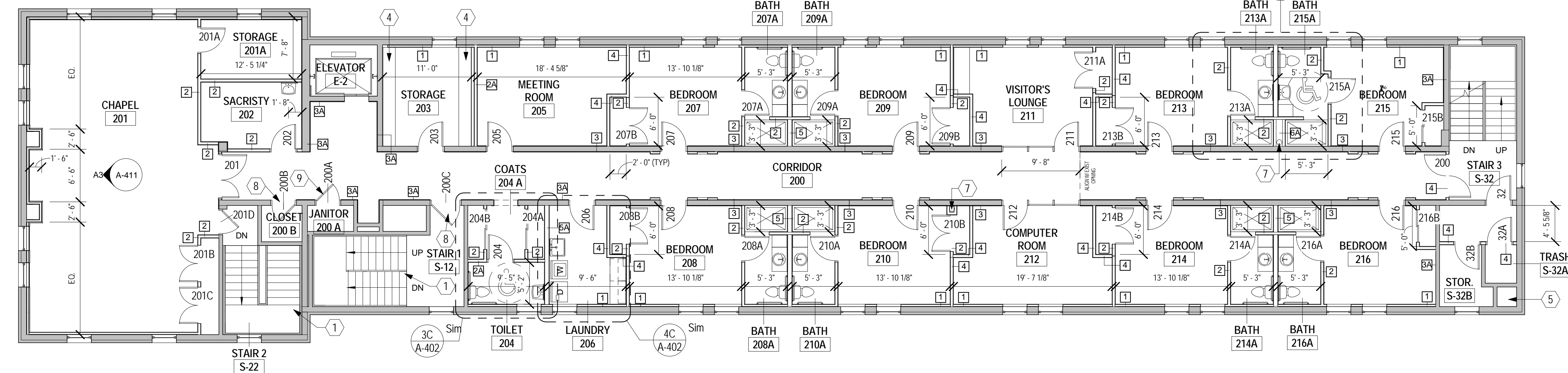
NO	DESCRIPTION
1	CONTRACTOR TO INSTALL (2) ADDITIONAL HORIZONTAL RAILS @ STAIR GUARD ( TO PROVIDE 4 EQ. SPACES) RAIL DESIGN TO MATCH EXISTING
2	PAINT EXISTING ROOF LADDER
3	EXTEND GUARD RAIL TO 3'-6" HT
4	ADJUSTABLE P LAM SHELVING ON HD BRACKETS
5	EXISTING TRASH CHUTE TO REMAIN
6	GAS FIREPLACE WITH MANTEL (ADD ALTERNATE)
7	EXISTING RAIN LEADER TO REMAIN
8	PAINT EXISTING DOOR
9	PAINT EXISTING DOOR, PROVIDE NEW HARDWARE HW-5

**GENERAL NOTES**

- CLOSETS SHALL BE 2'-0" DEEP UNLESS DIMENSIONED OTHERWISE.
- PROVIDE PT BLOCKING FOR ALL WALL MOUNTED SHELVES, CABINETS ETC.
- ALL HAZMAT MATERIAL WILL BE REMOVED BY OTHERS OUTSIDE THIS CONTRACT. CONTRACTOR TO NOTIFY THE ARCHITECT IF ANY HAZMAT MATERIAL ARE FOUND.
- EXISTING ELEVATOR CAB TO BE REFURBISHED AS PART OF THIS CONTRACT. ELEVATOR & SHAFT SHALL BE UPGRADED TO MEET ALL APPLICABLE CODES.
- BEDROOM CLOSETS & COAT CLOSETS SHALL RECEIVE COAT ROD & SHELF.
- ALL SHOWER UNITS IN BATHROOMS SHALL RECEIVE GRAB BARS & CURTAIN RODS REFER 1C/ A-402



**2C THIRD FLOOR PLAN**  
1/8" = 1'-0"



**2B SECOND FLOOR PLAN**  
1/8" = 1'-0"



810 Light Street Baltimore, Md 21230

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.  
License No: 9473 Expiration Date: 4/7/2015

NO	DATE	PERMIT SET DESCRIPTION
1	06-17-13	PERMIT SET

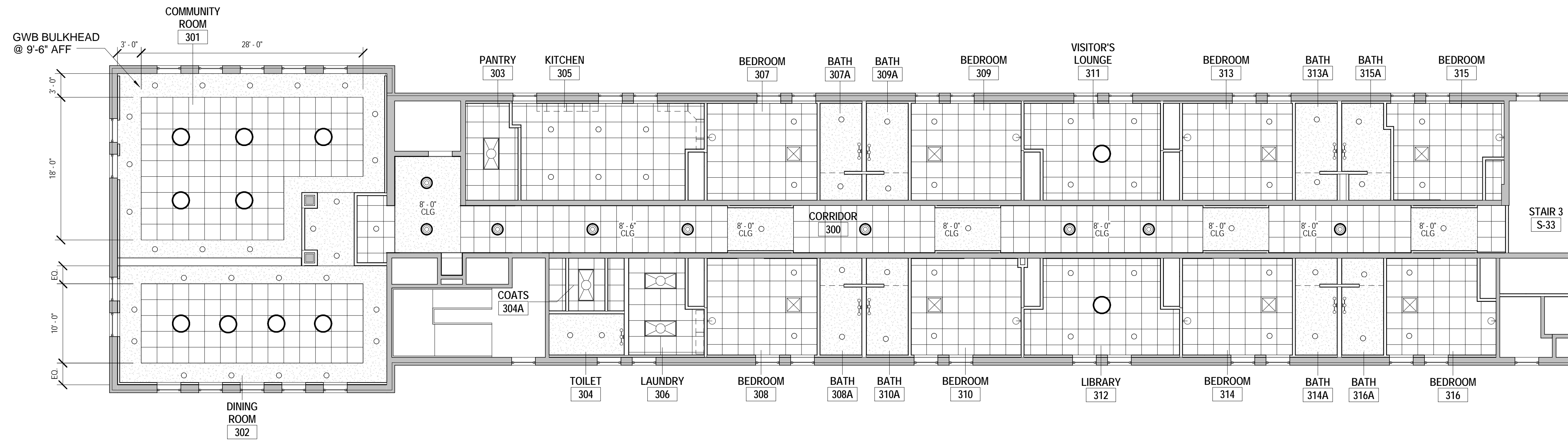
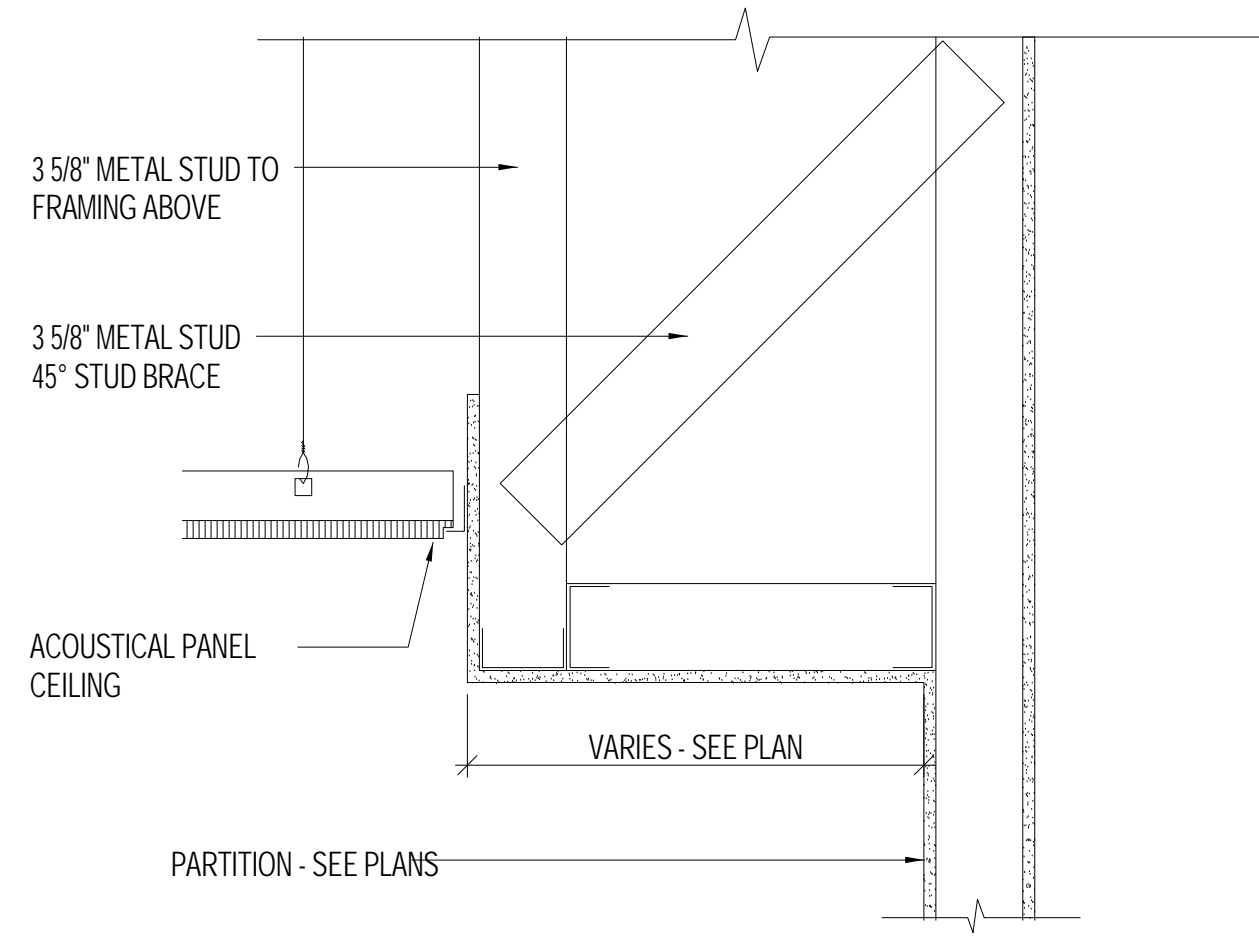
**REVISIONS**

**NOTRE DAME PREP CONVENT RENOVATION**

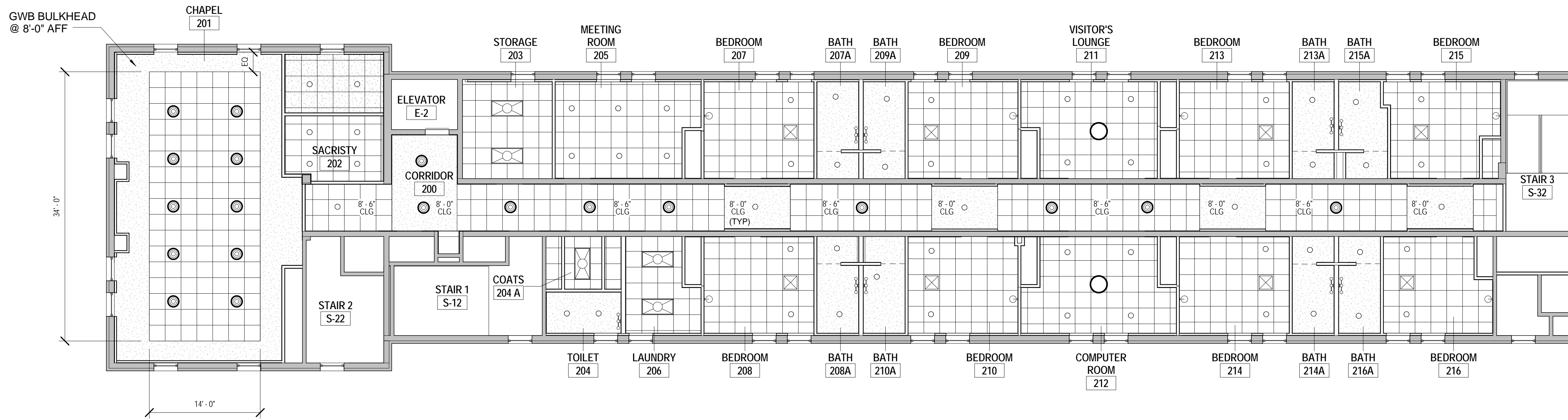
**SECOND & THIRD FLOOR PLANS**

PROJ. NO.: 13007-00	DWG NO.
DRAWN BY: AR	<b>A-102</b>
DATE: 06-13-13	

1D TYPICAL CEILING DETAIL-1  
1 1/2" = 1'-0"



2D THIRD FLOOR  
1/8" = 1'-0"



2C SECOND FLOOR  
1/8" = 1'-0"

**GENERAL CEILING NOTES:**

1. LIGHTS IN SHOWERS/ BATH SHALL BE LENSED. RATED FOR WET LOCATIONS
2. COAT CLOSETS SHALL RECEIVE A WALL LIGHT THAT IS OPERATED BY OPENING THE CLOSET DOOR
3. BEDROOM CEILINGS TO BE 8'-6" +/- AFF
4. BATHROOM CEILINGS TO BE 8'-0" AFF

**RCP LEGEND**

- RECESSED DOWNLIGHT
- PENDANT LIGHT A
- CEILING MTD LIGHT B
- WALL MTD LIGHT B
- RECESSED LIGHT 2'X4'
- VANITY LIGHT-WALL MOUNTED
- SHOWER CURTAIN ROD
- CEILING MTD VRV CASSETTE UNIT -2'X2'
- PTD GWB
- 2 X 2 ACOUSTIC CEILING ARMSTRONG DUNE W/ 9/16" GRID



810 Light Street Baltimore, Md 21230

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.

License No:9473 Expiration Date:4/7/2015

NO	DATE	DESCRIPTION
1	06-17-13	PERMIT SET

REVISIONS

NOTRE DAME  
PREP CONVENT  
RENOVATION

REFLECTED CEILING  
PLAN

PROJ. NO.: 13007-00	DWG NO
DRAWN BY: AR	A-112
DATE: 06-13-13	

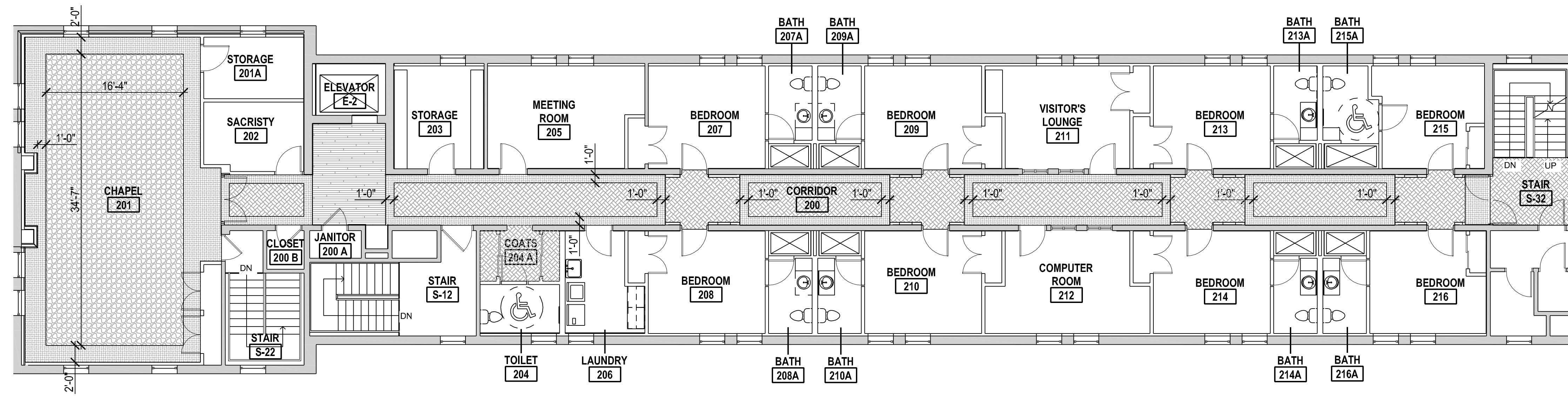
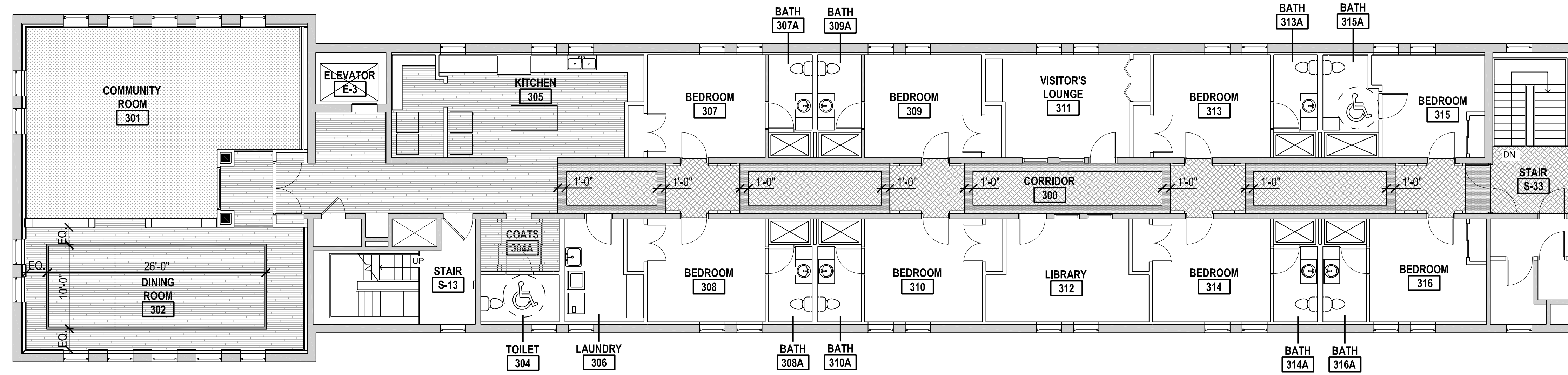
**GENERAL NOTES**

- ALL FLOOR FINISHES CONTINUE UNDER CASEWORK, FF&E.
- CHANGES IN FLOOR FINISHES OCCUR AT CENTER OF DOORS.
- SEPARATE CHANGES IN FLOOR FINISHES W/ APPROPRIATE VINYL TRANSITION STRIPS.
- FLOOR PATTERNS TO BE CENTERED WITHIN ROOM UNLESS DIMENSIONED/ NOTED OTHERWISE.
- ALL CLOSETS SHALL GET THE SAME FLOOR FINISH AS THE ADJACENT ROOM UNLESS OTHERWISE SPECIFIED.
- WHERE FLOOR FINISHES ARE NOT SHOWN IN THE FINISHES PLAN, PLEASE REFER TO THE FINISH SCHEDULE/ SPECIFICATIONS FOR CLARIFICATION OF FLOOR FINISHES.
- PROVIDE ADA ACCESSIBLE MARBLE THRESHOLD AT ALL TOILET ROOMS, TYP.

**FINISH KEY**

- CARPET - CPT
- CPT-1 [CORRIDOR FIELD CARPET]
  - CPT-2 [LEAF PATTERN CARPET]
  - CPT-3 [FLORAL PATTERN CARPET]
  - CPT-6 [CORRIDOR CARPET BORDER]
  - CPT-7 [CHAPEL & CORRIDOR CARPET BORDER]

- VINYL PLANK - VP
- VP - 1 [MAIN FLOORING]
  - VP - 2 [ACCENT STRIPES IN DINING ROOM]



810 Light Street Baltimore, Md 21230

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.

License No:3473 Expiration Date:4/7/2015

NO	DATE	DESCRIPTION
1	6-17-13	PERMIT SET

REVISIONS

NOTRE DAME PREP CONVENT RENOVATION

SECOND & THIRD FLOOR FINISH PLANS

PROJ. NO.: 13007-00	DWG NO
DRAWN BY: AR	A-122
DATE: 06-13-13	

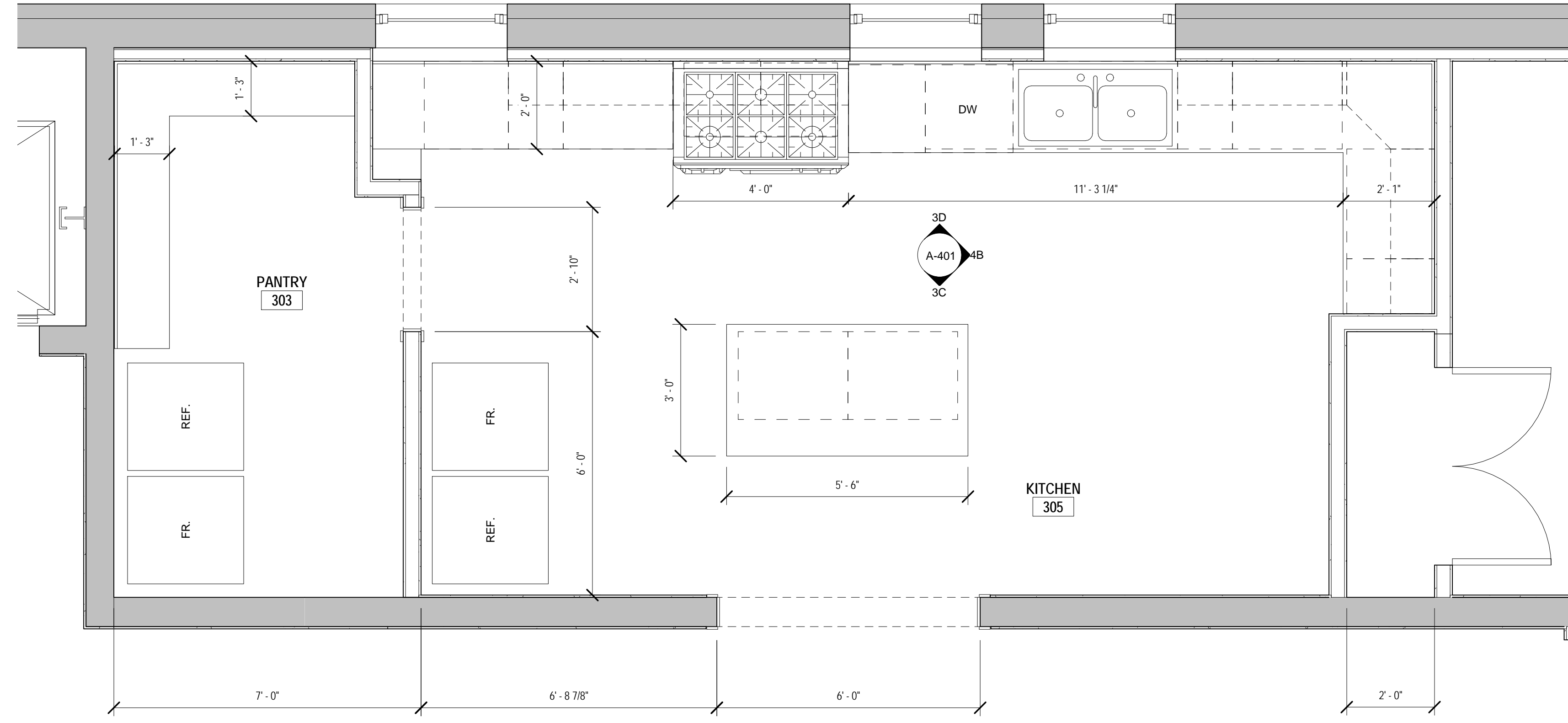
NO	DATE	DESCRIPTION
1	06-17-13	PERMIT SET

REVISIONS

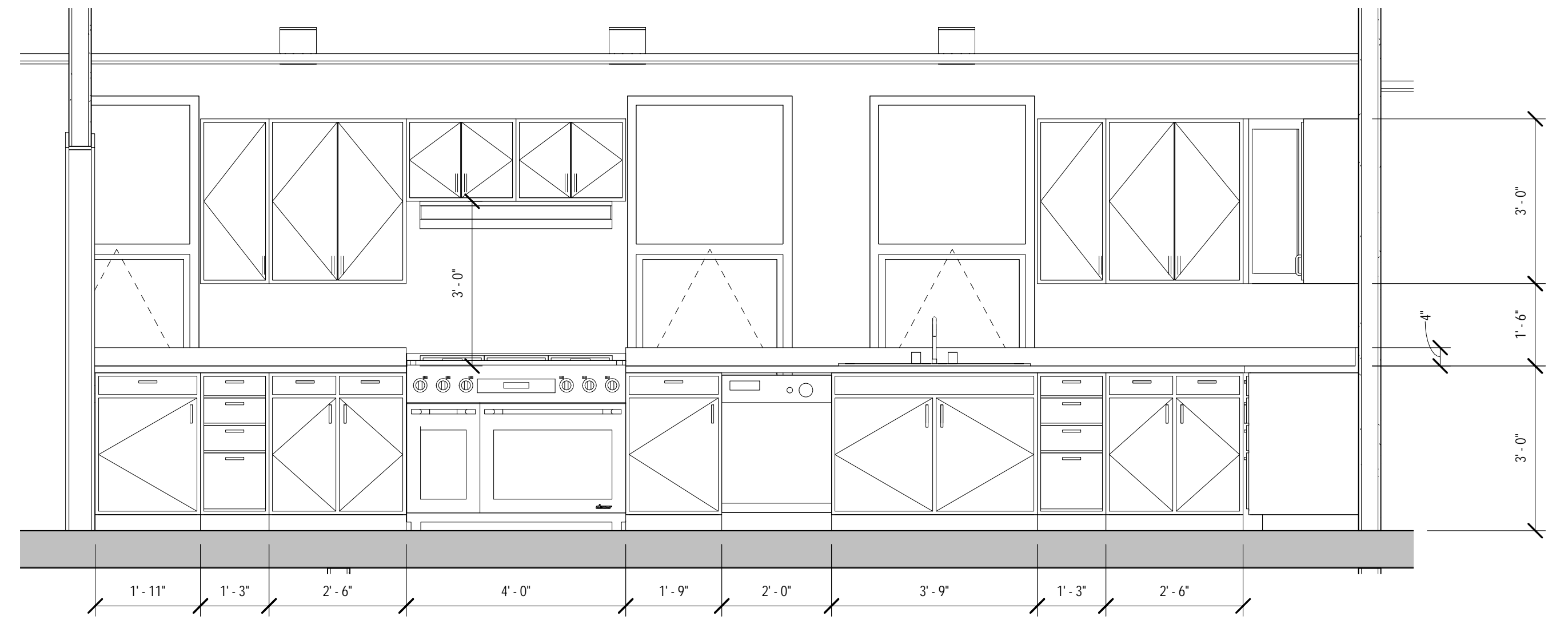
**NOTRE DAME  
PREP CONVENT  
RENOVATION**

**ENLARGED FLOOR  
PLANS & DETAILS**

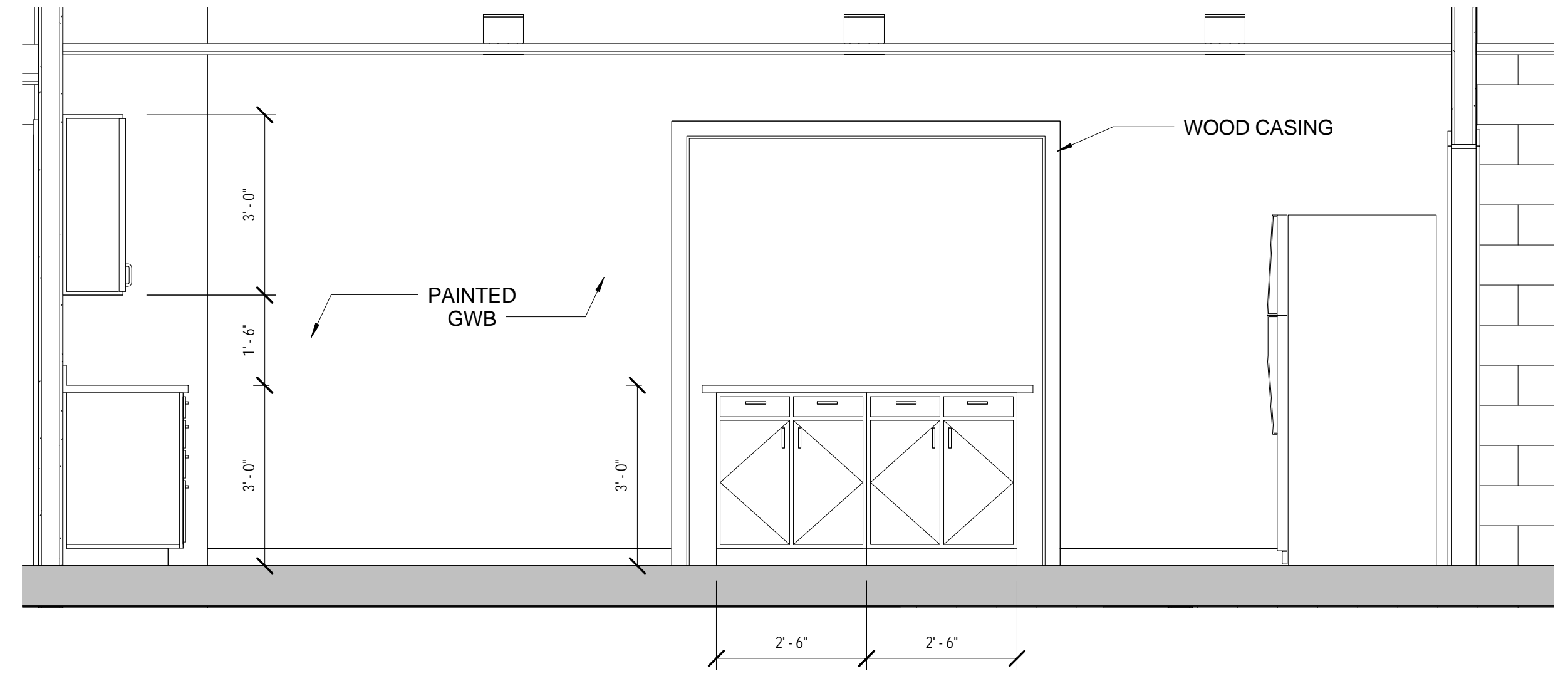
PROJ. NO.: 13007-00	DWG NO
DRAWN BY: AR	<b>A-401</b>
DATE: 06-13-13	



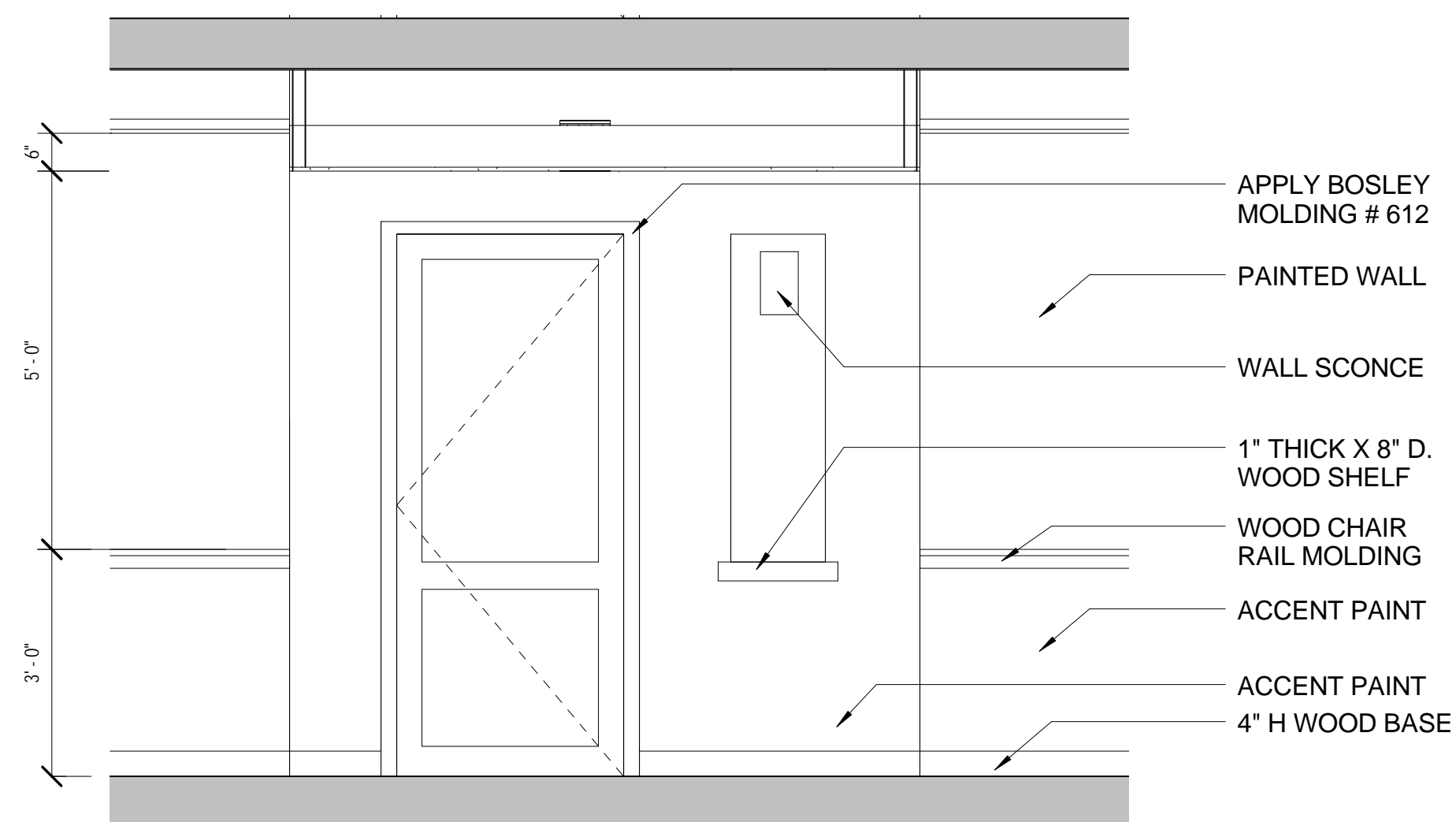
**1C ENLARGED FLOOR PLAN-KITCHEN**  
1/2" = 1'-0"



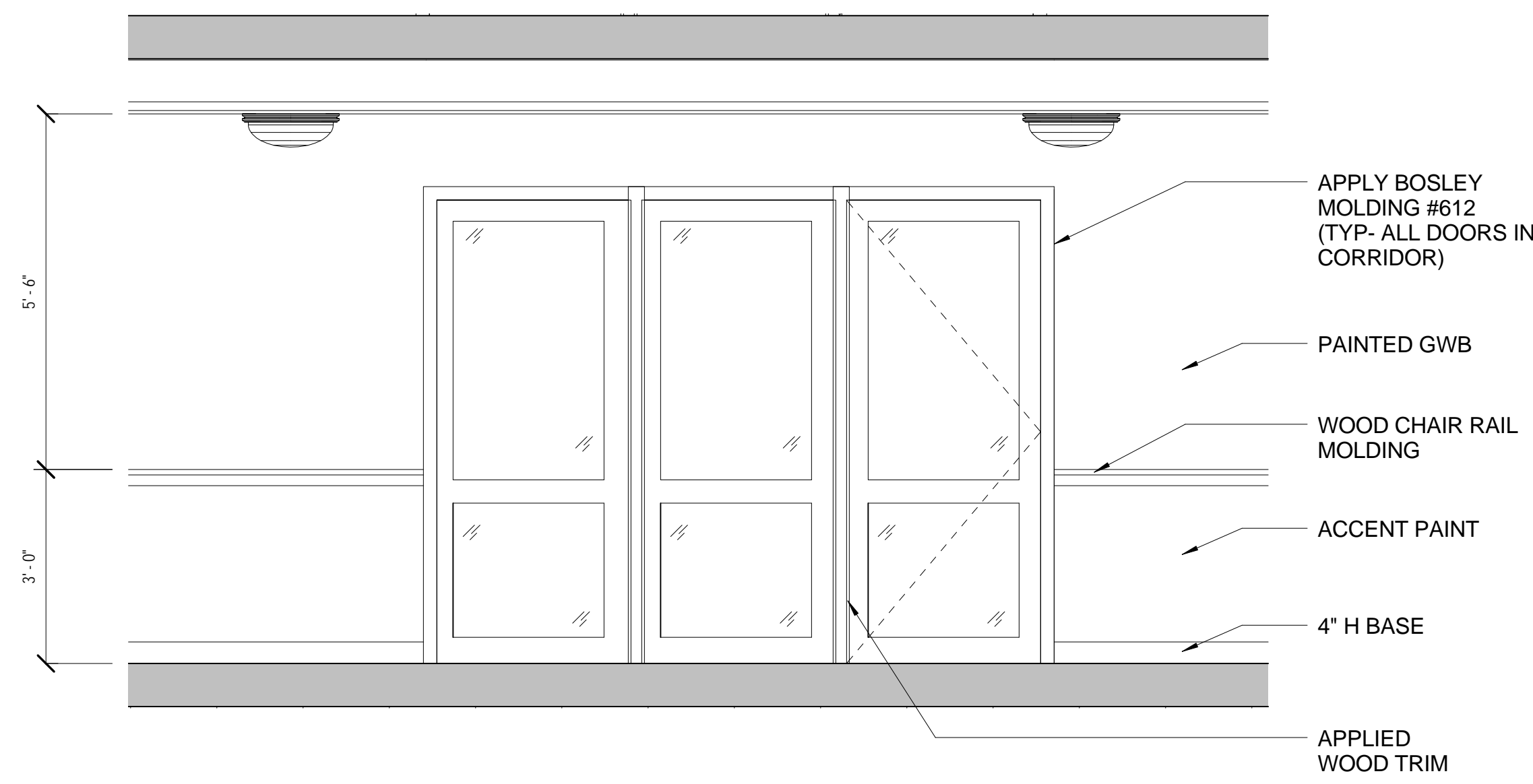
**3D KITCHEN ELEVATION-1**  
1/2" = 1'-0"



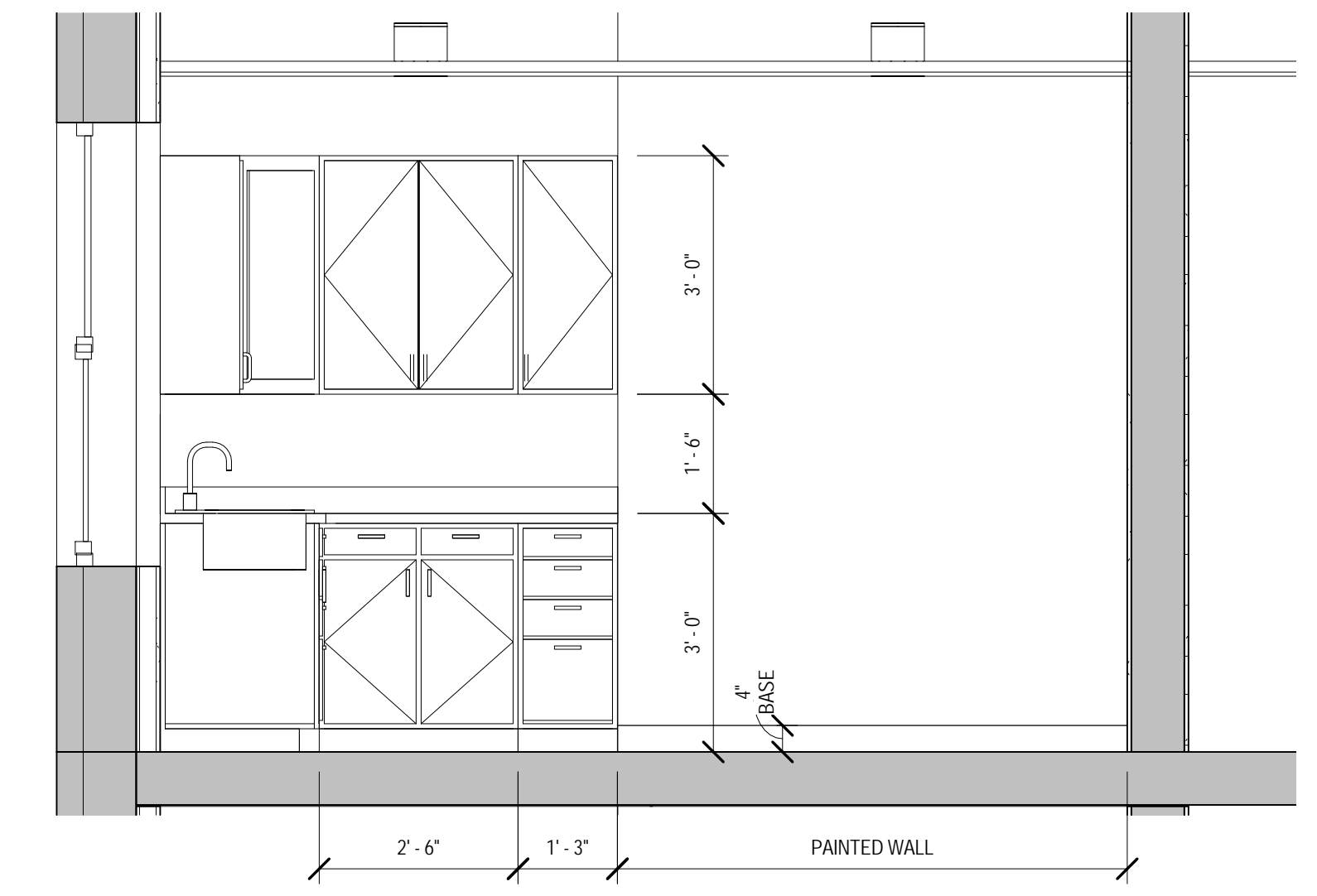
**3C KITCHEN ELEVATION-2**  
1/2" = 1'-0"



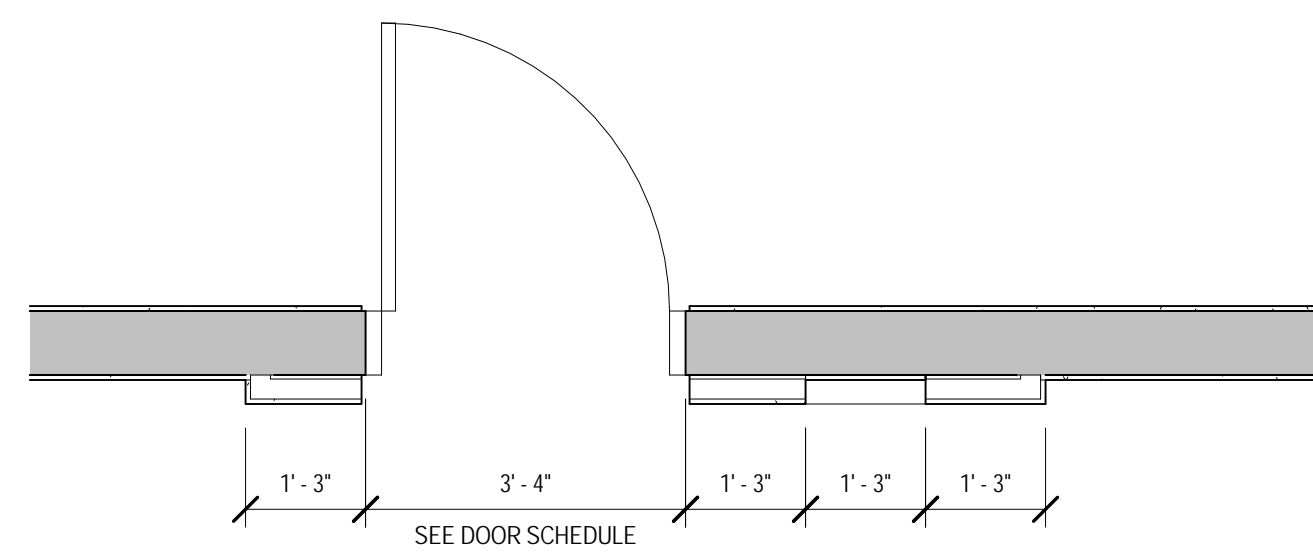
**1B ELEVATION DETAIL- (TYPICAL @ BEDROOM ENTRY DOOR)**  
1/2" = 1'-0"



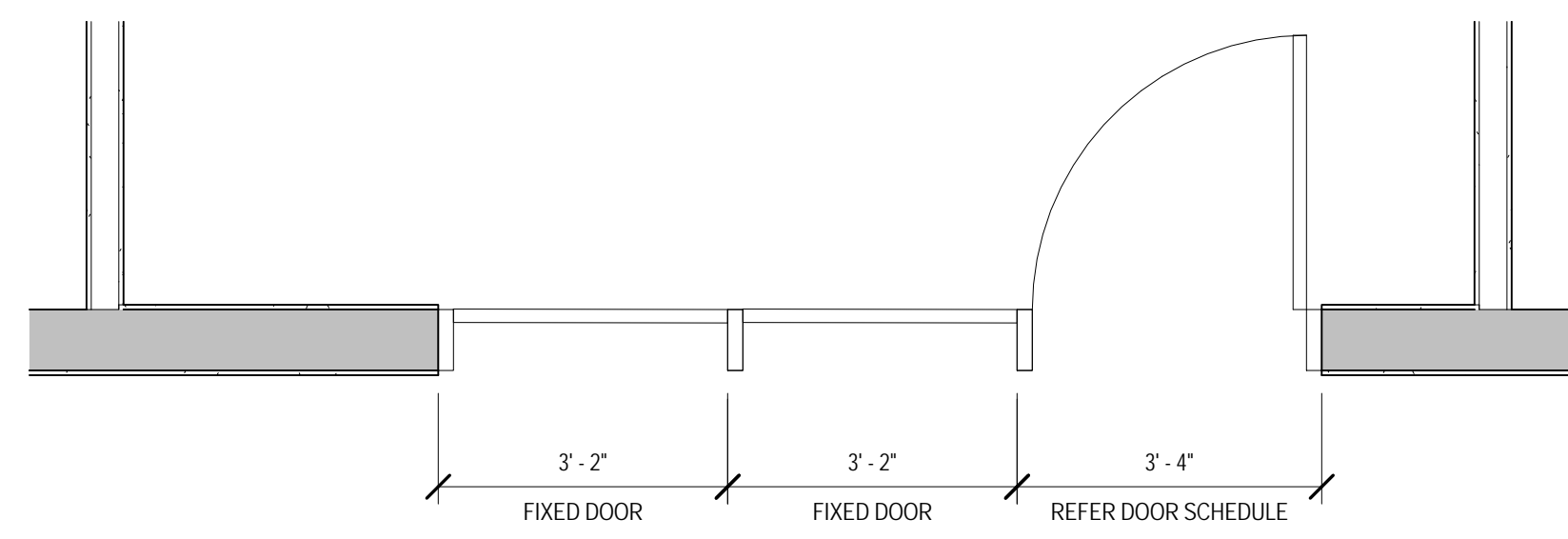
**3B INTERIOR ELEVATION - LOUNGE ENTRANCE**  
1/2" = 1'-0"



**4B KITCHEN ELEVATION-3**  
1/2" = 1'-0"

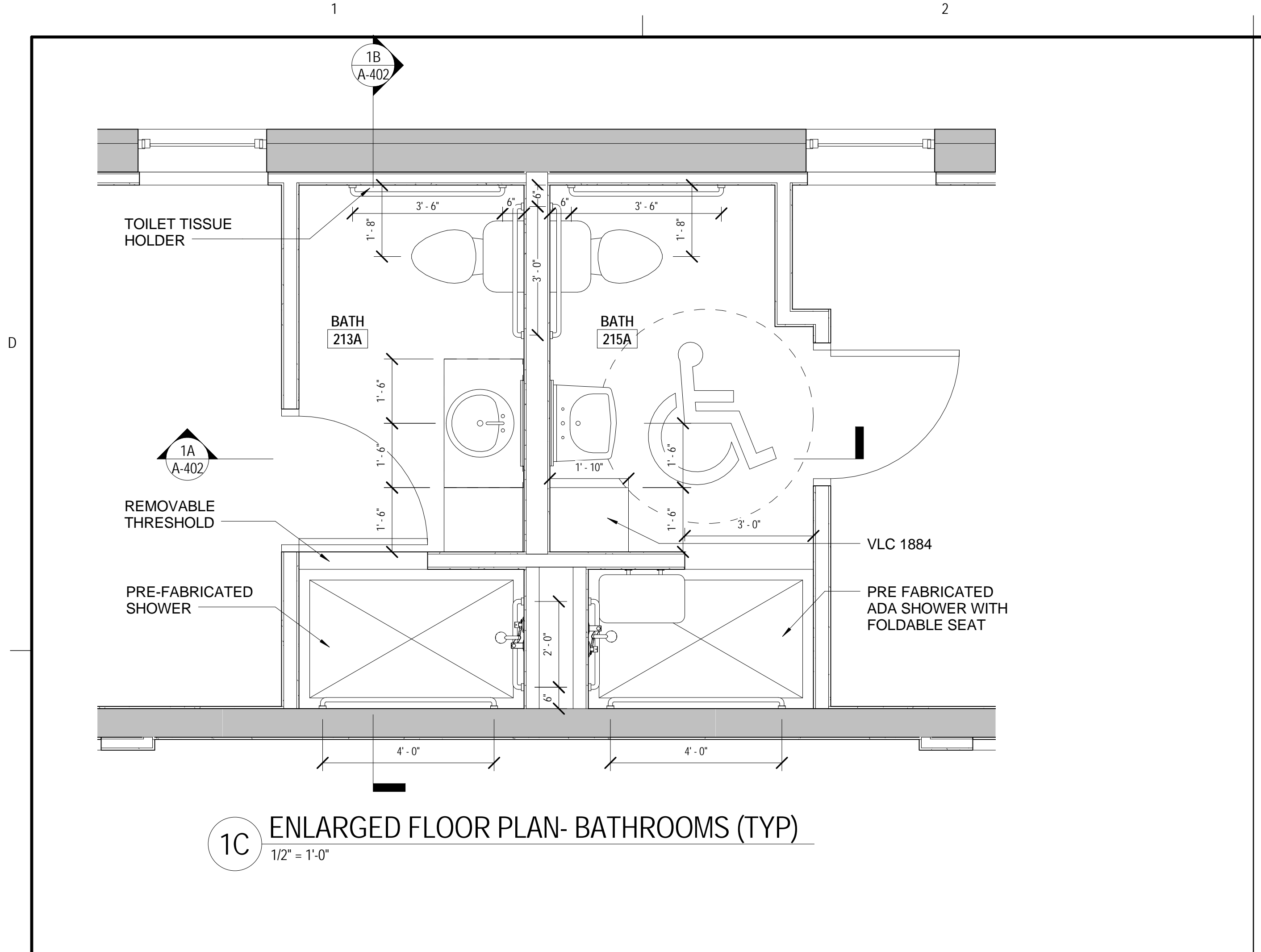


**1A PLAN DETAIL - (TYPICAL @ BEDROOM ENTRY DOOR)**  
1/2" = 1'-0"

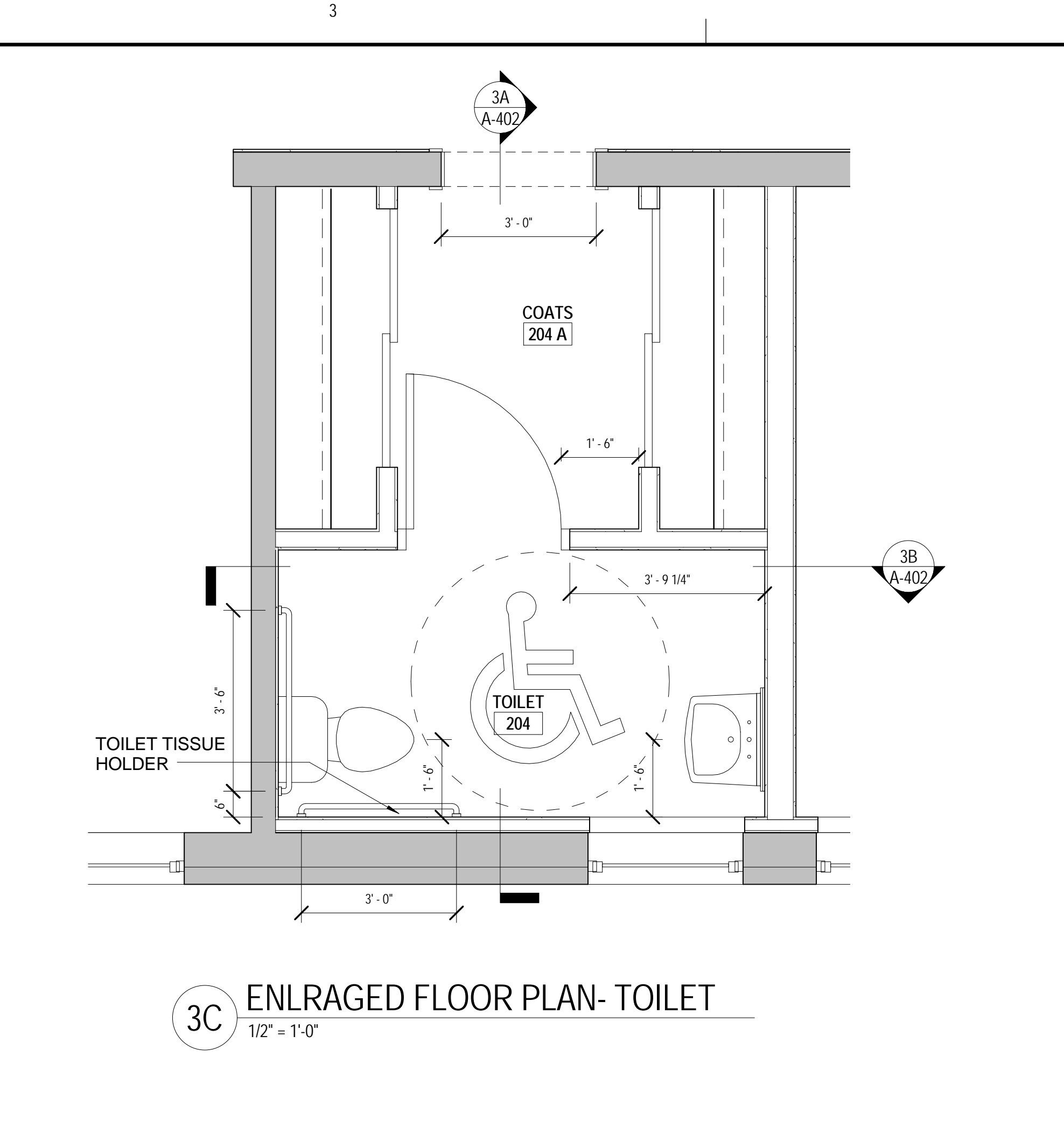


**3A PLAN DETAIL - VISITOR'S LOUNGE & LIBRARY ENTRANCE**  
1/2" = 1'-0"

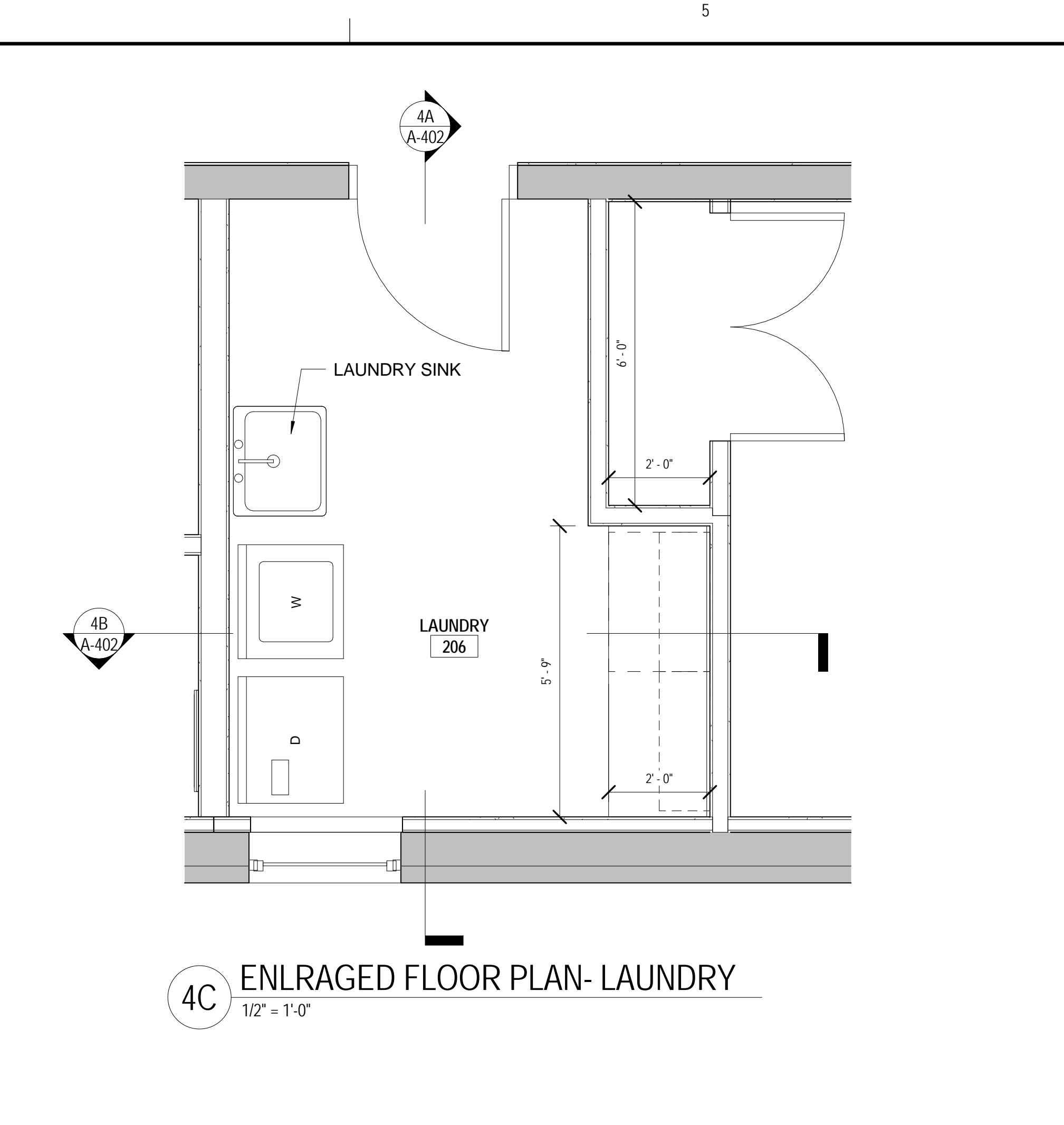




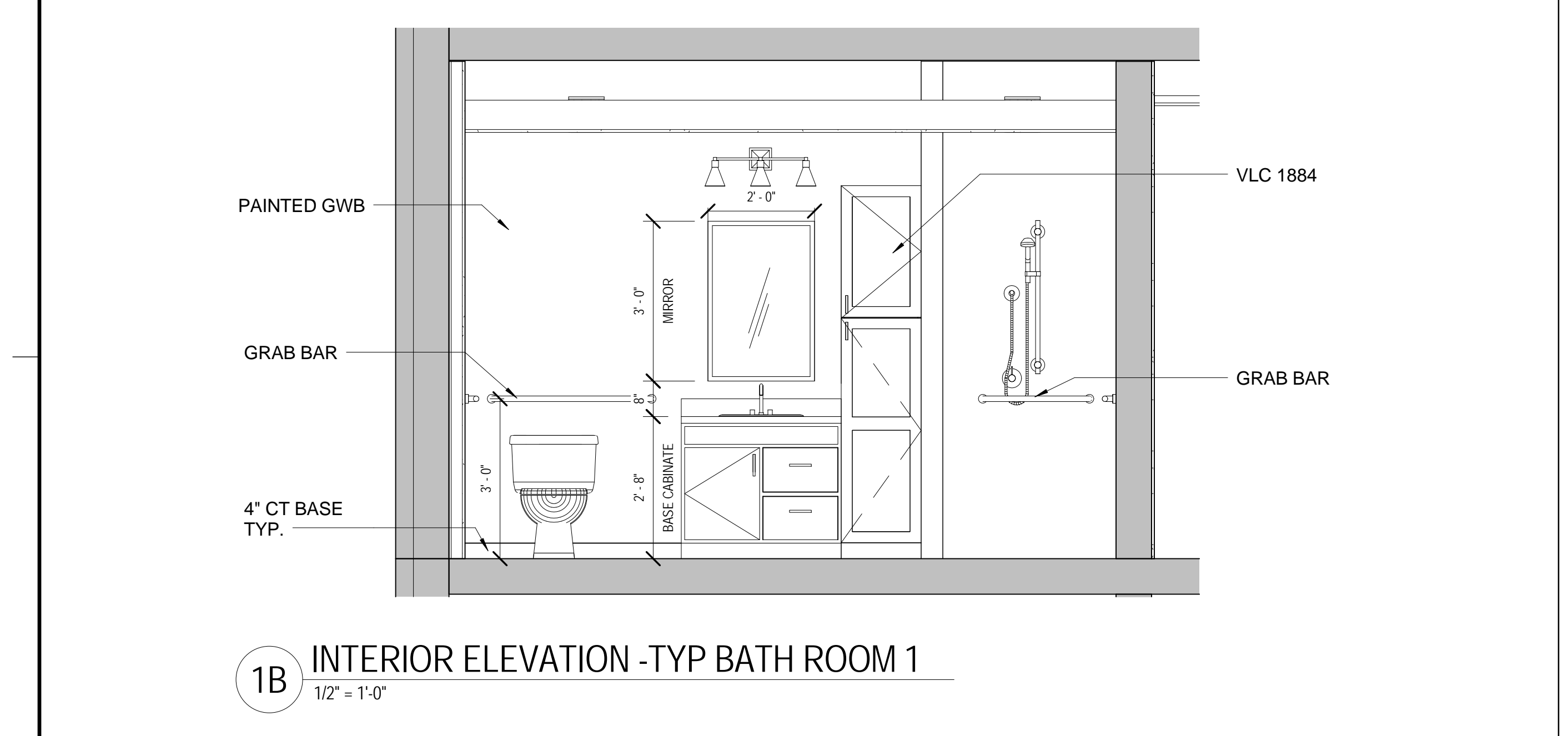
1C ENLARGED FLOOR PLAN- BATHROOMS (TYP)  
1/2" = 1'-0"



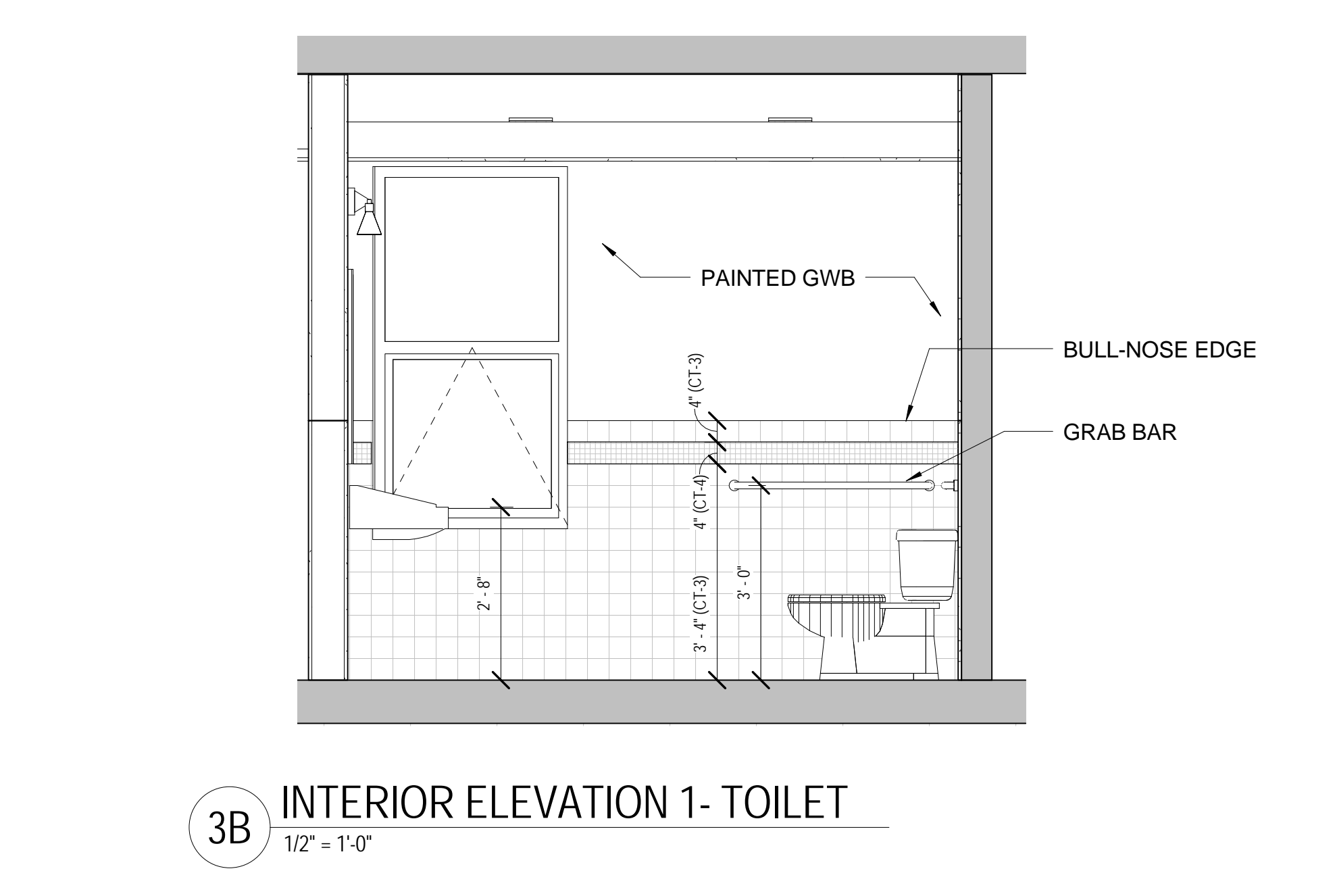
3C ENLARGED FLOOR PLAN- TOILET  
1/2" = 1'-0"



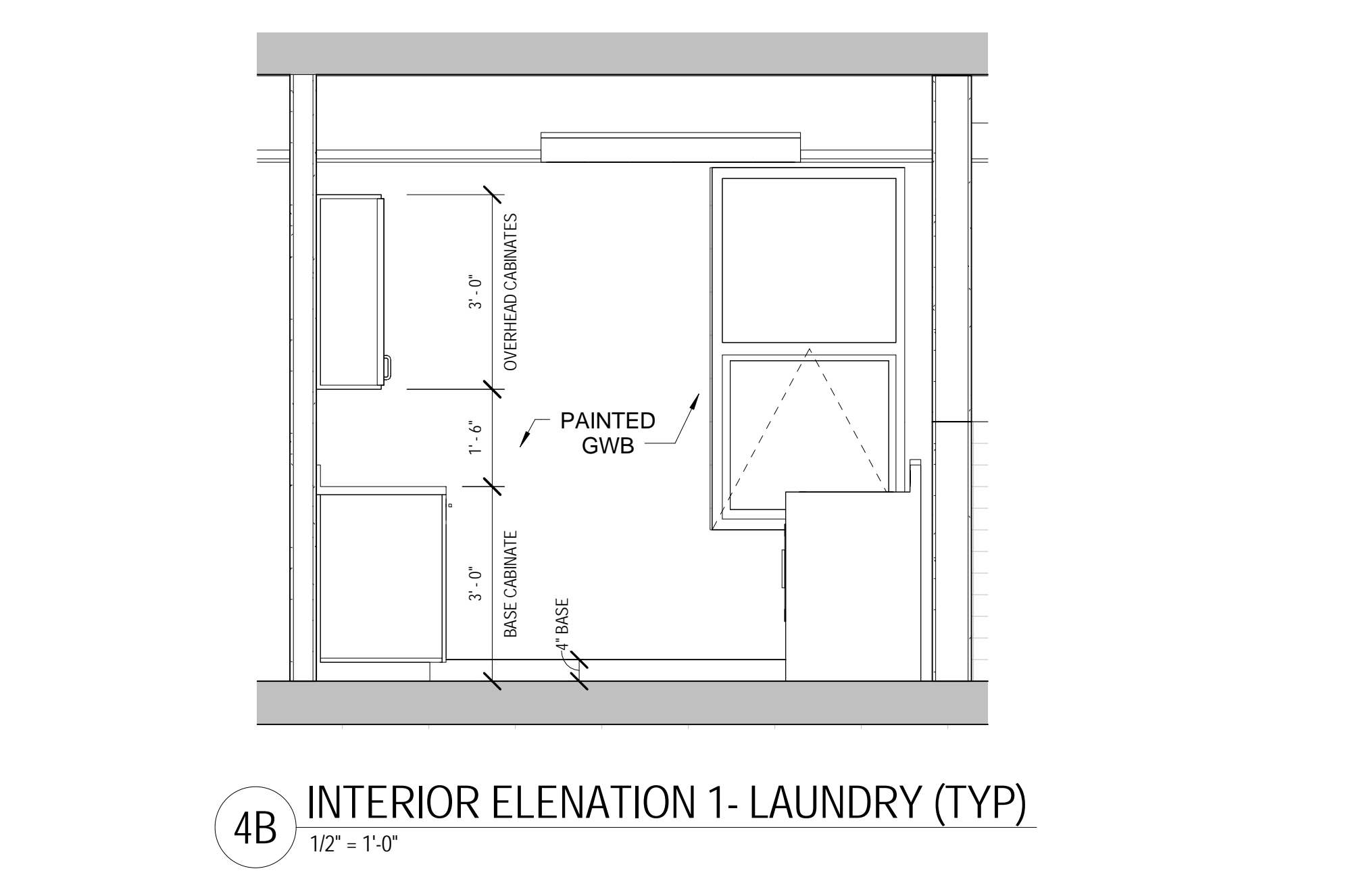
4C ENLARGED FLOOR PLAN- LAUNDRY  
1/2" = 1'-0"



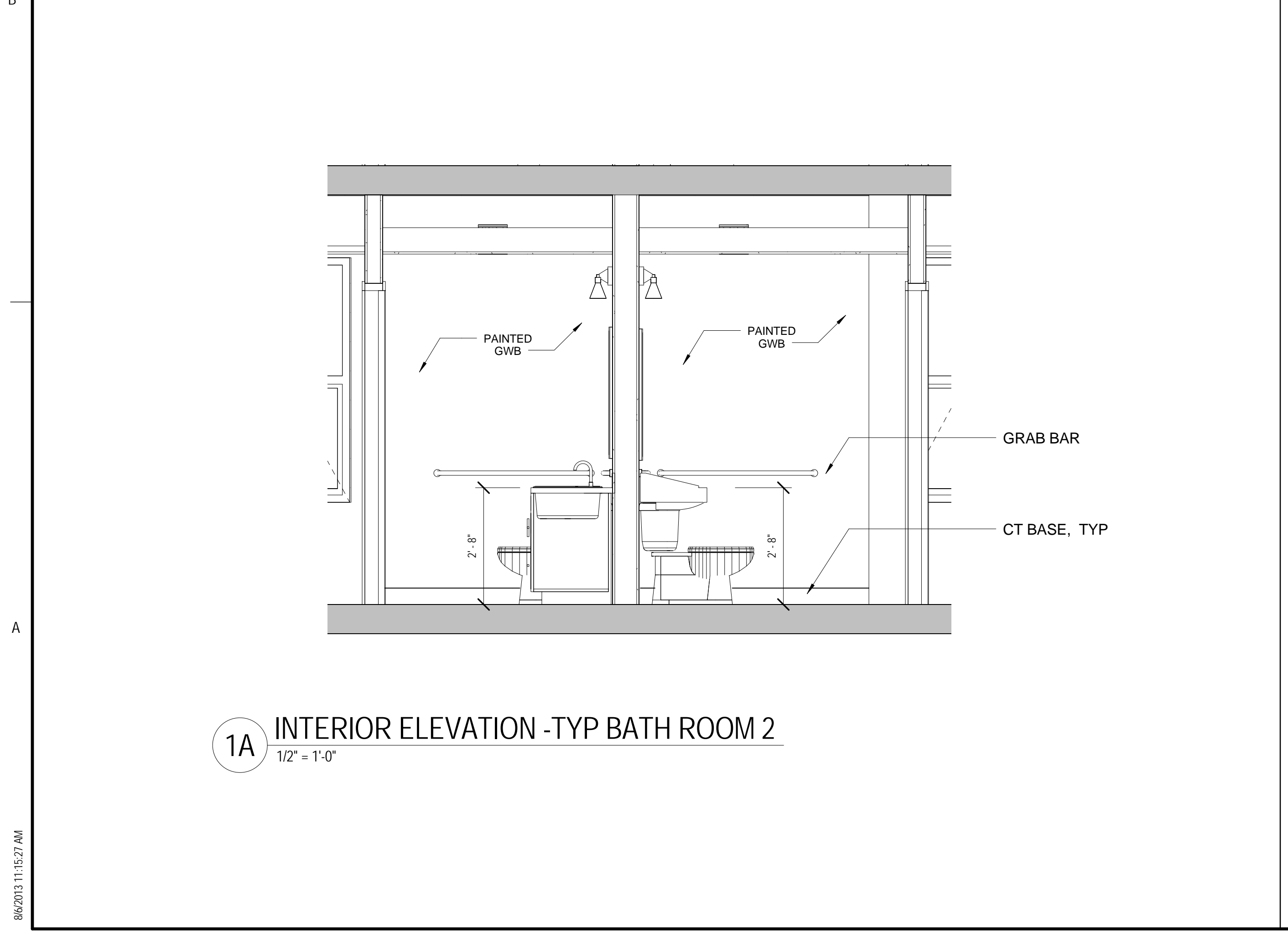
1B INTERIOR ELEVATION -TYP BATH ROOM 1  
1/2" = 1'-0"



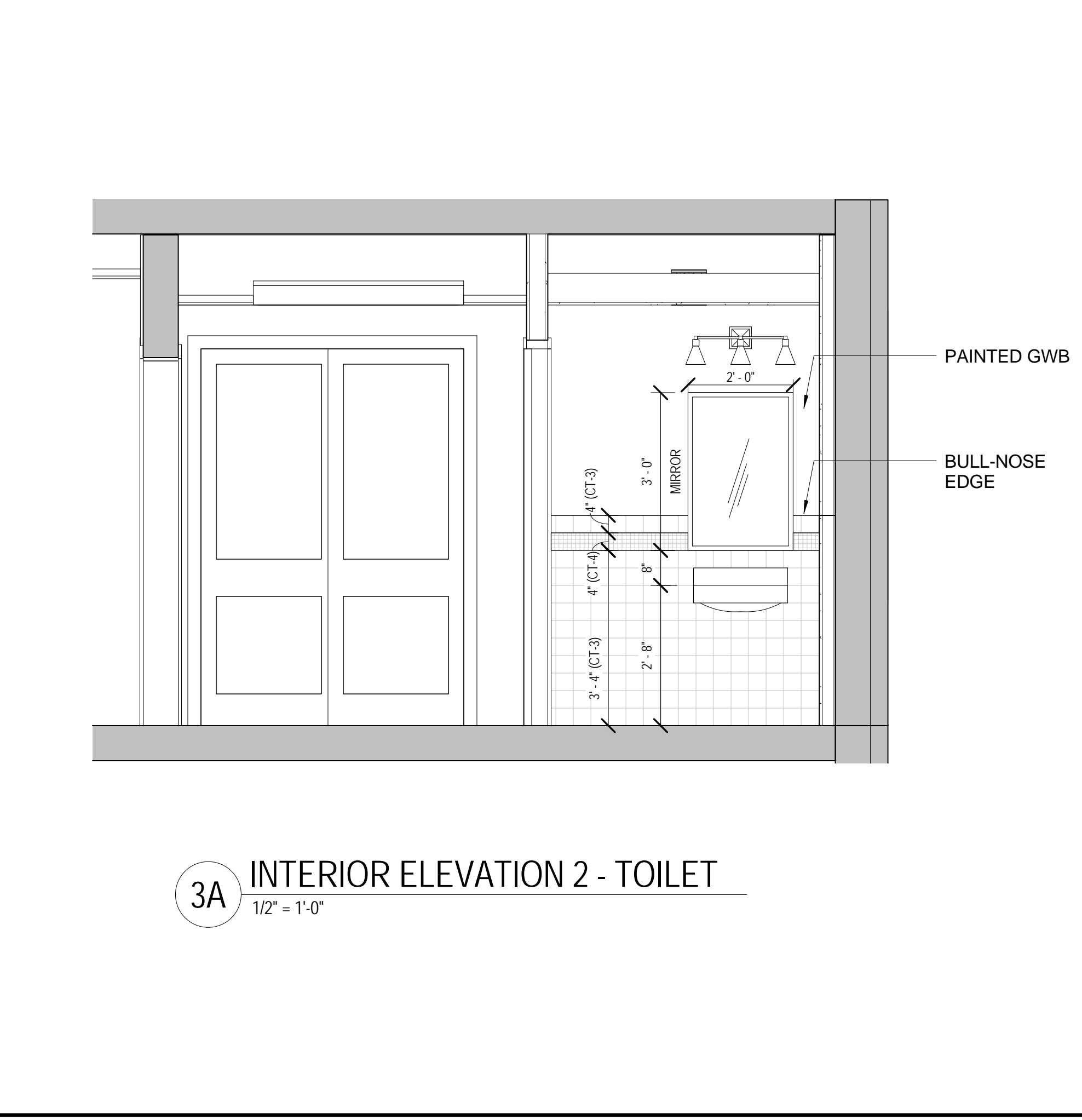
3B INTERIOR ELEVATION 1- TOILET  
1/2" = 1'-0"



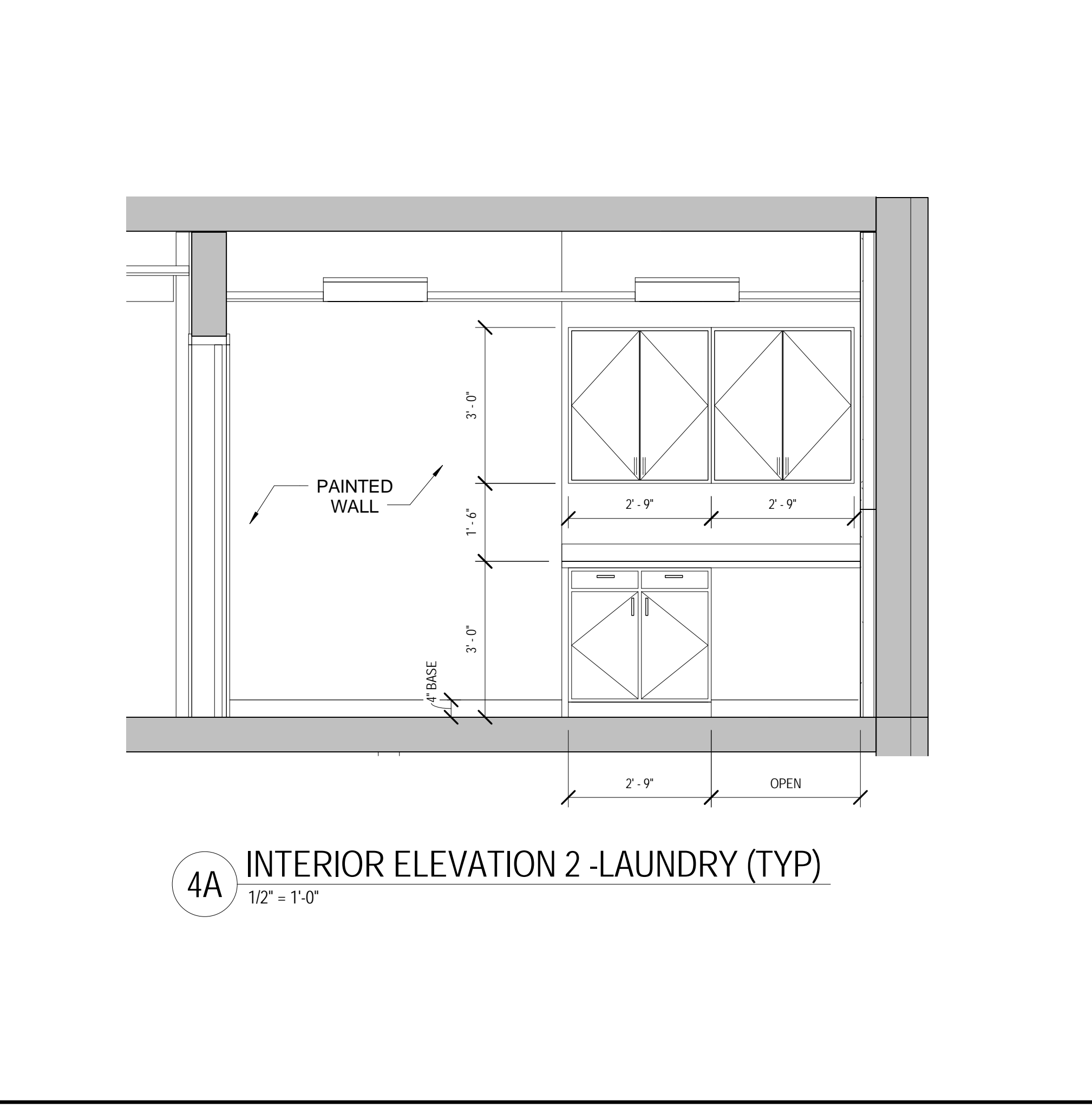
4B INTERIOR ELEVATION 1- LAUNDRY (TYP)  
1/2" = 1'-0"



1A INTERIOR ELEVATION -TYP BATH ROOM 2  
1/2" = 1'-0"



3A INTERIOR ELEVATION 2 - TOILET  
1/2" = 1'-0"



4A INTERIOR ELEVATION 2 -LAUNDRY (TYP)  
1/2" = 1'-0"



810 Light Street Baltimore, Md 21230

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.  
License No: 9473 Expiration Date: 4/7/2015

NO	DATE	DESCRIPTION
1	06-17-13	PERMIT SET

REVISIONS	

**NOTRE DAME  
PREP CONVENT  
RENOVATION**

**ENLARGED FLOOR  
PLANS, ELEVATIONS  
& SECTIONS**

PROJ. NO.: 13007-00	DWG NO.
DRAWN BY: Author	<b>A-402</b>
DATE: 06-13-13	

8/20/13 11:52:57 AM

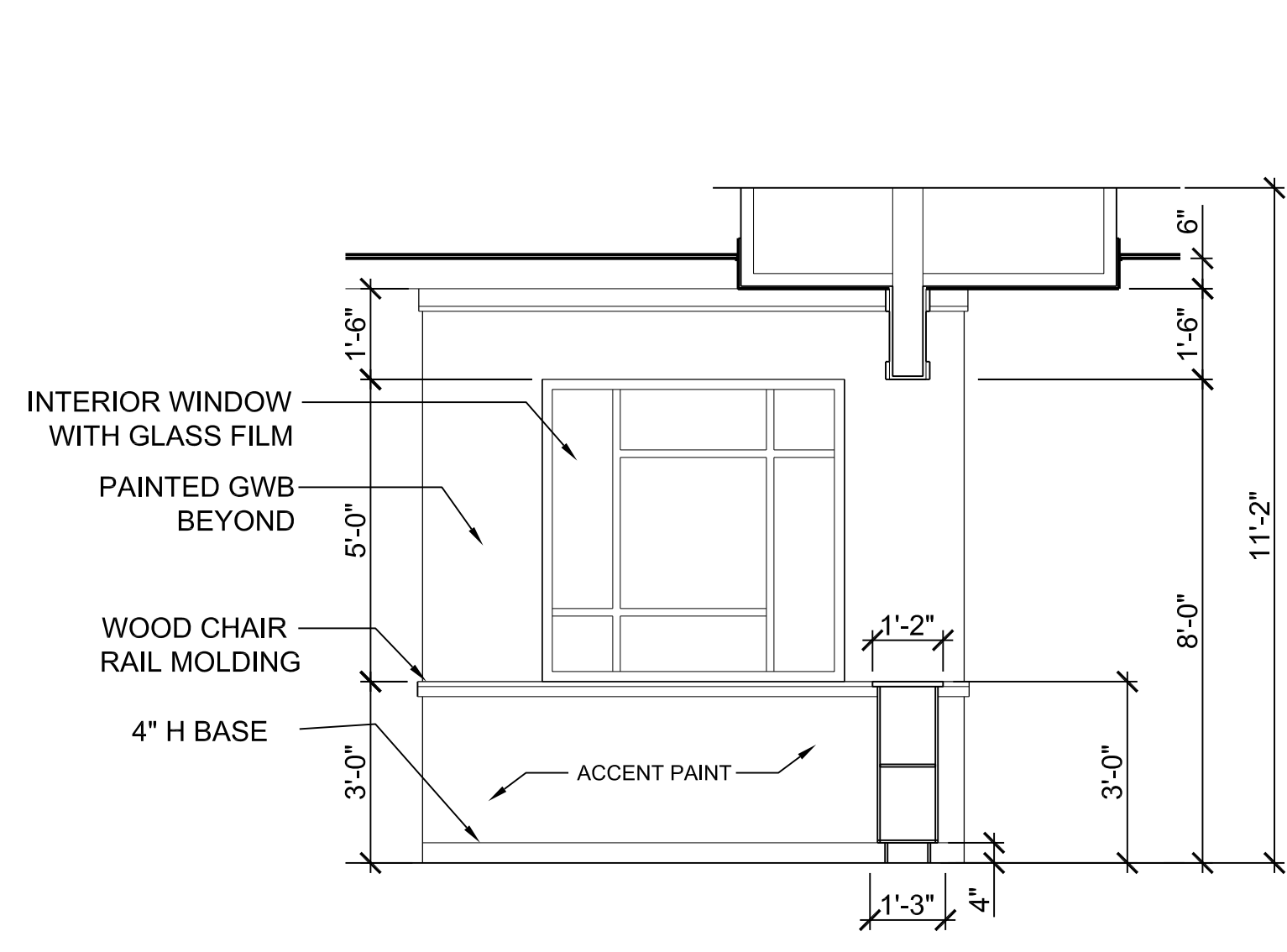
1

2

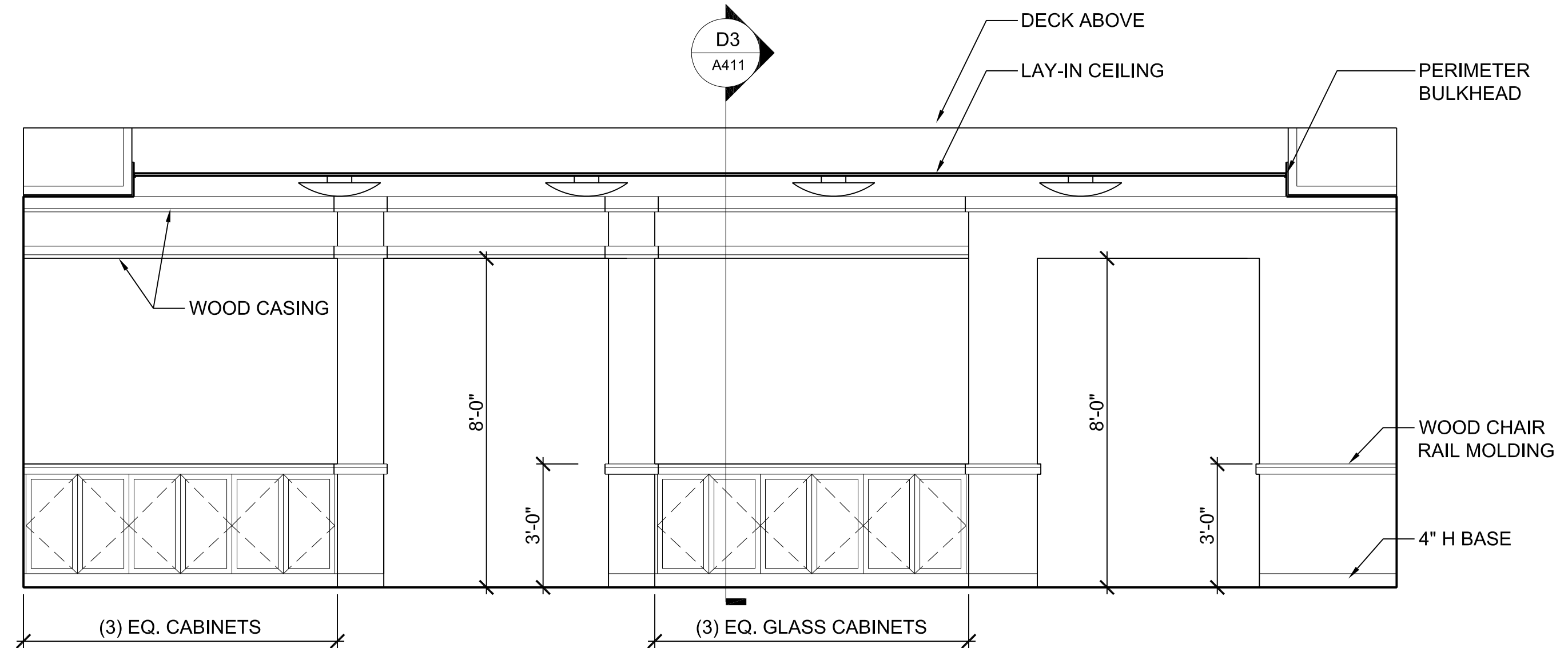
3

4

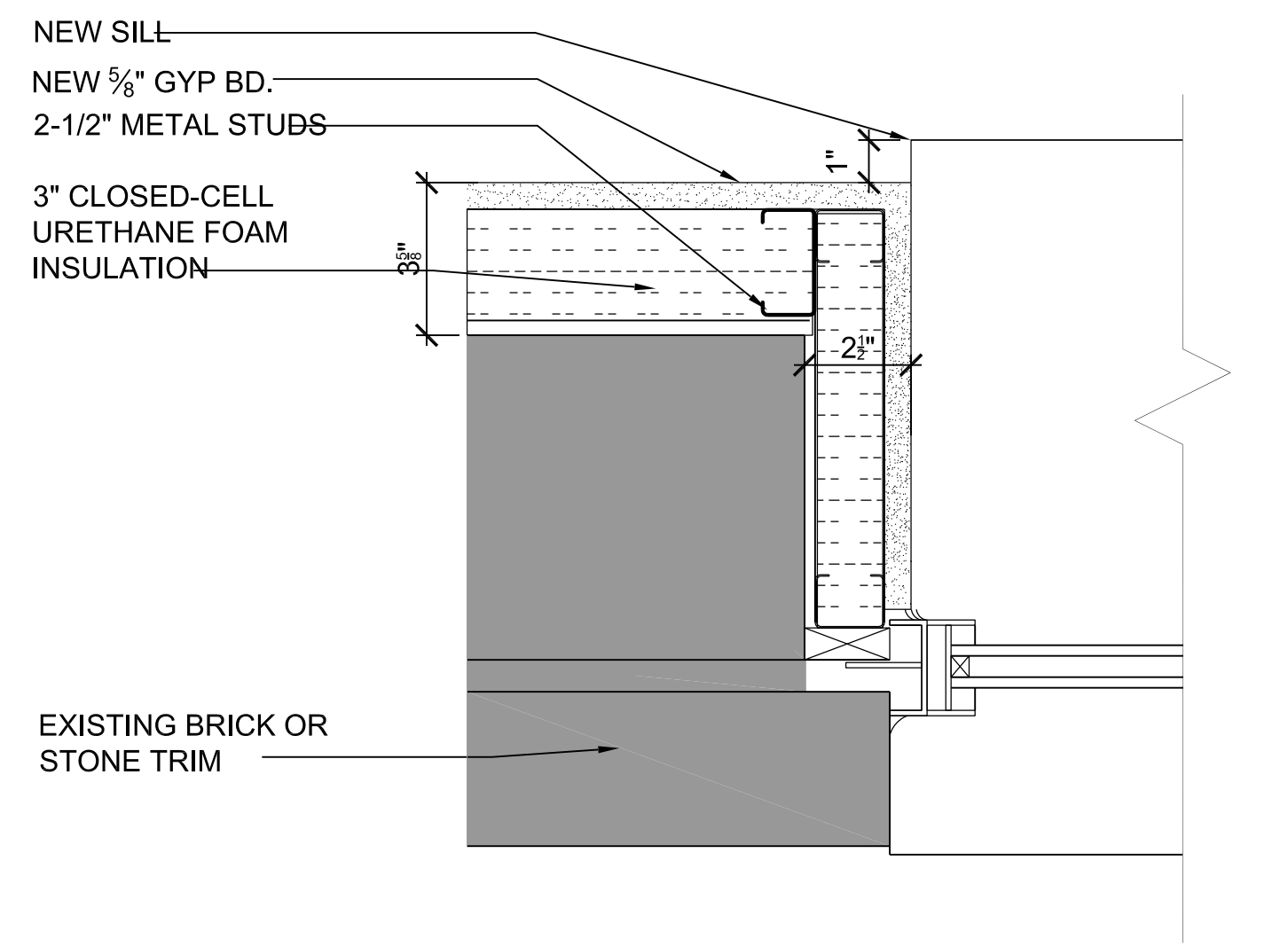
5



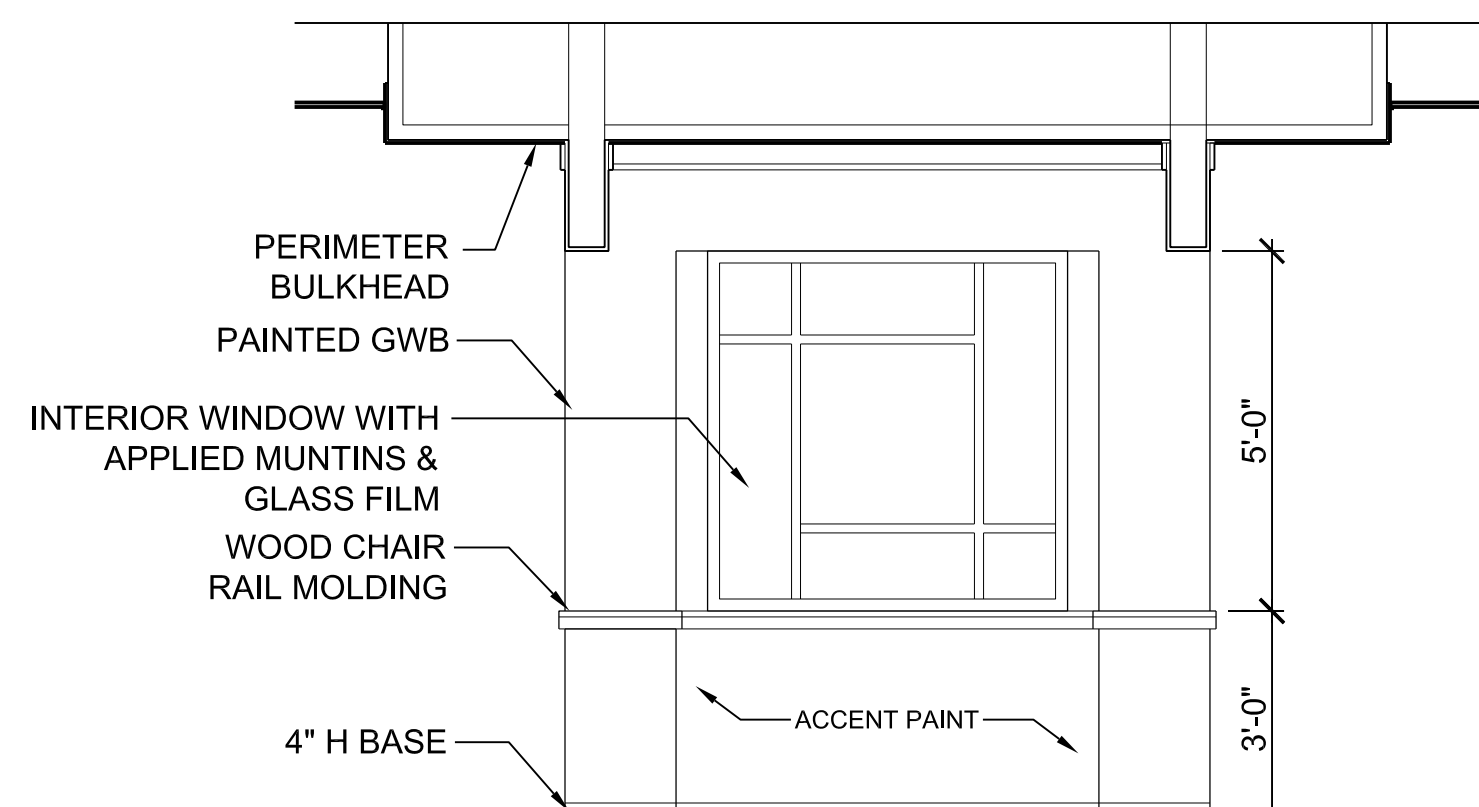
D3 SECTION AT KNEE WALL  
3/8" = 1'-0"



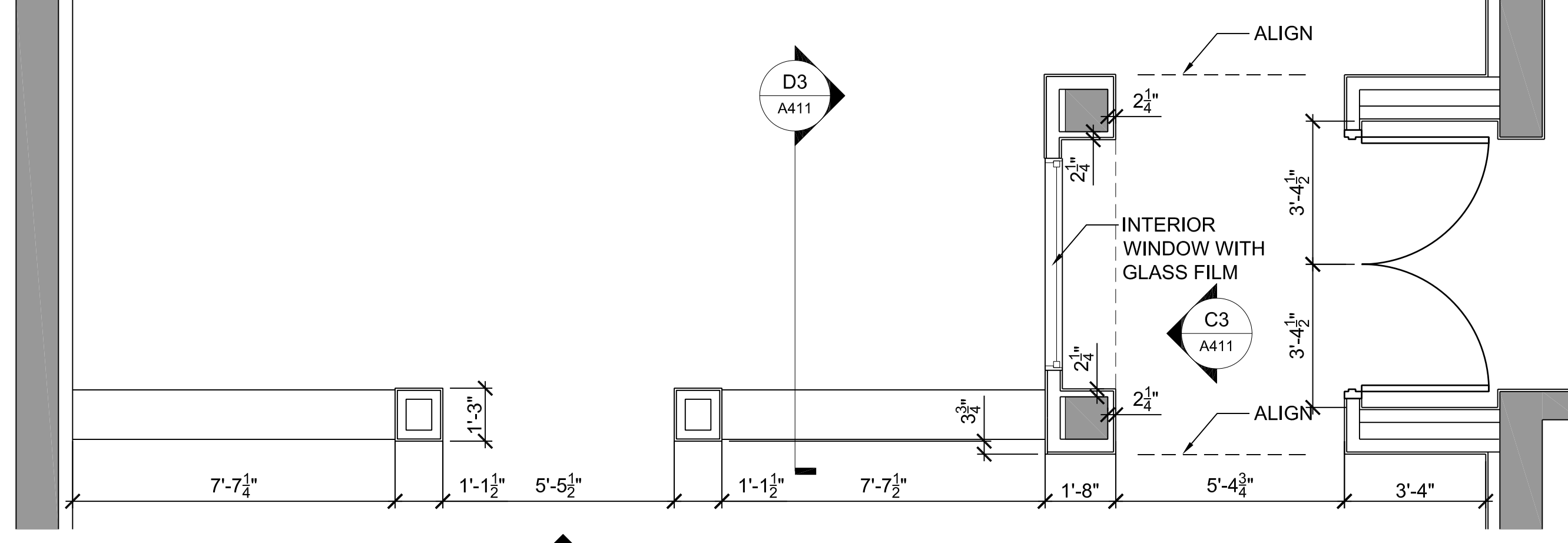
D4 ELEVATION AT KNEE WALL  
3/8" = 1'-0"



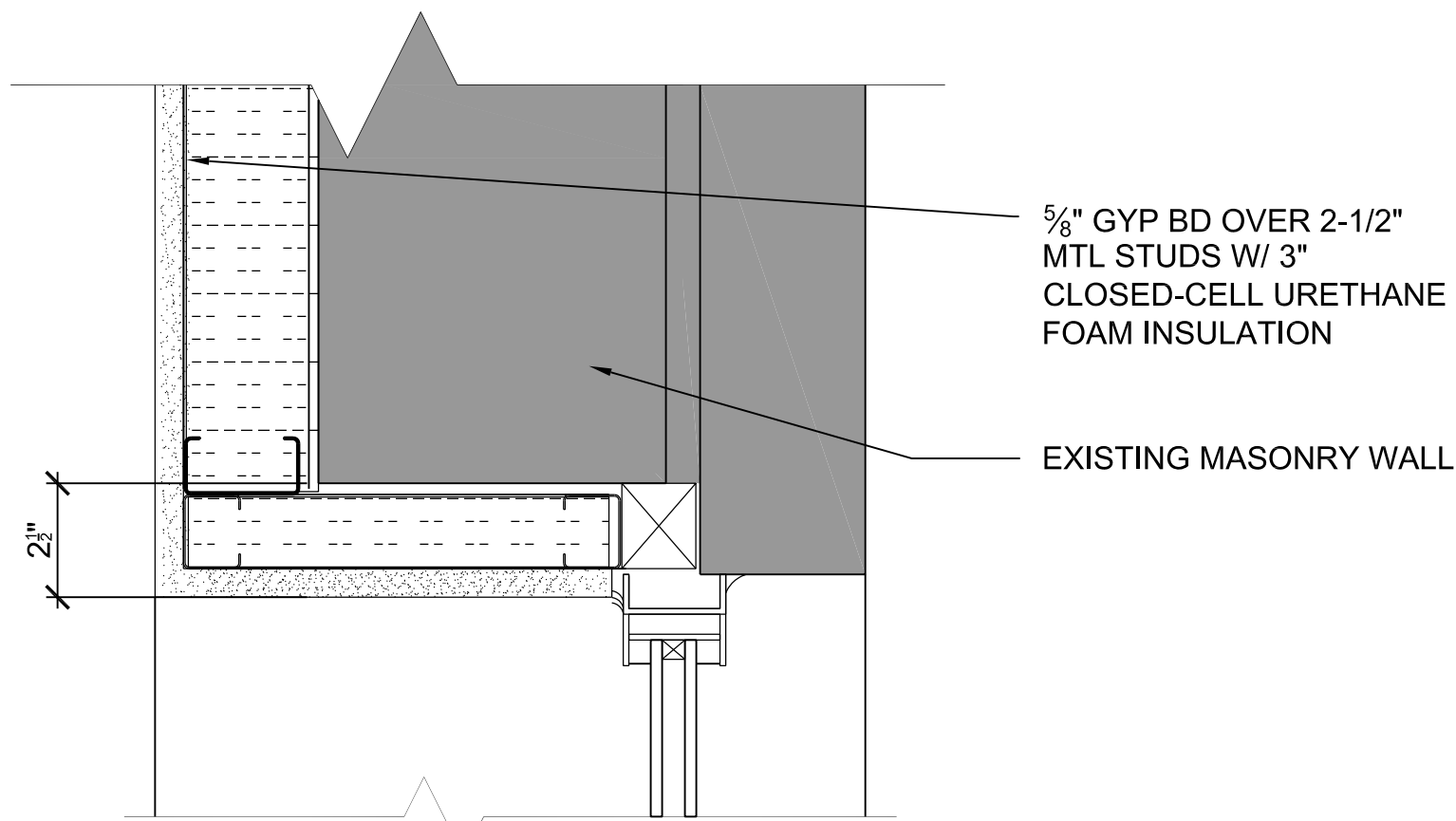
C1 EXISTING WINDOW JAMB  
3" = 1'-0"



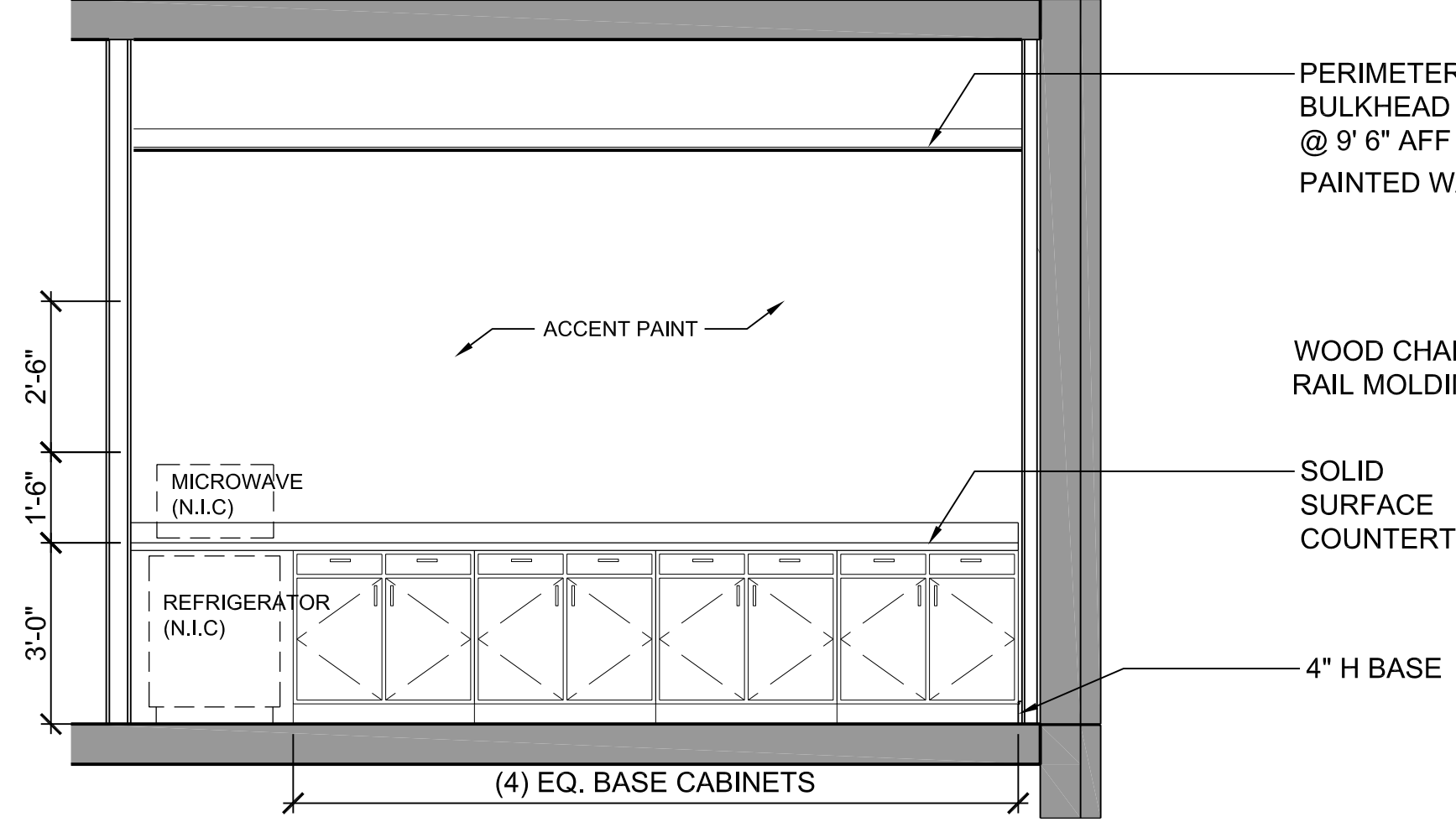
C3 ELEVATION - INTERIOR WINDOW  
3/8" = 1'-0"



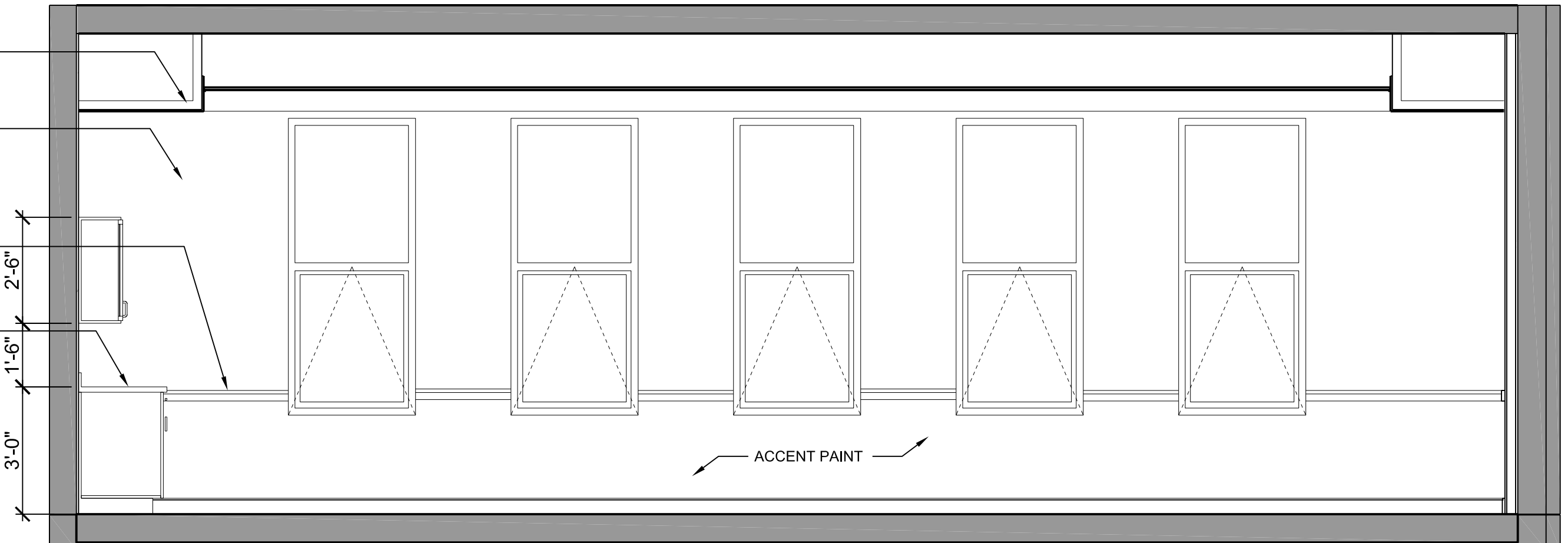
C4 PLAN DETAIL AT COMMUNITY ROOM  
3/8" = 1'-0"



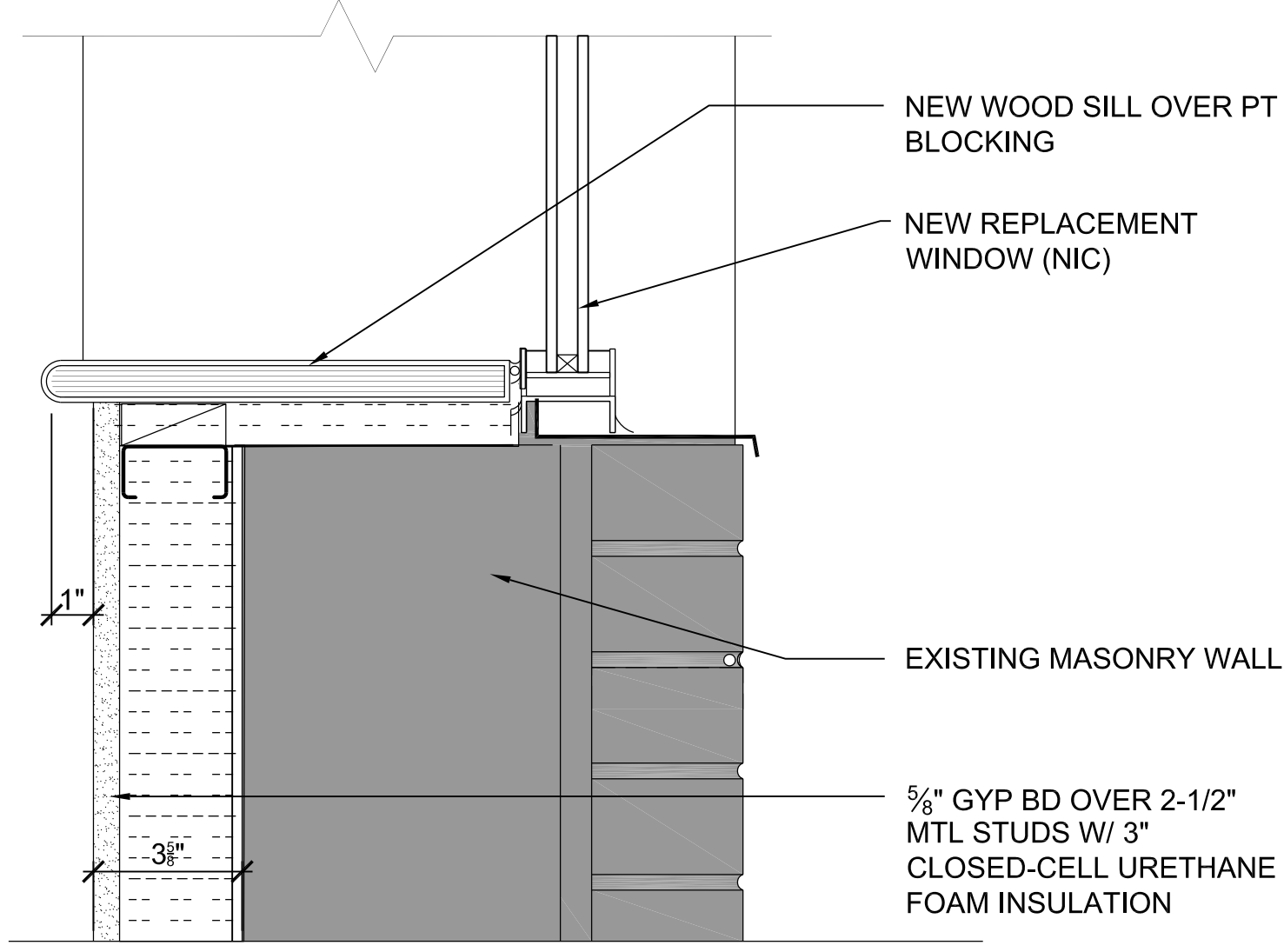
B1 WINDOW HEAD DETAIL  
3" = 1'-0"



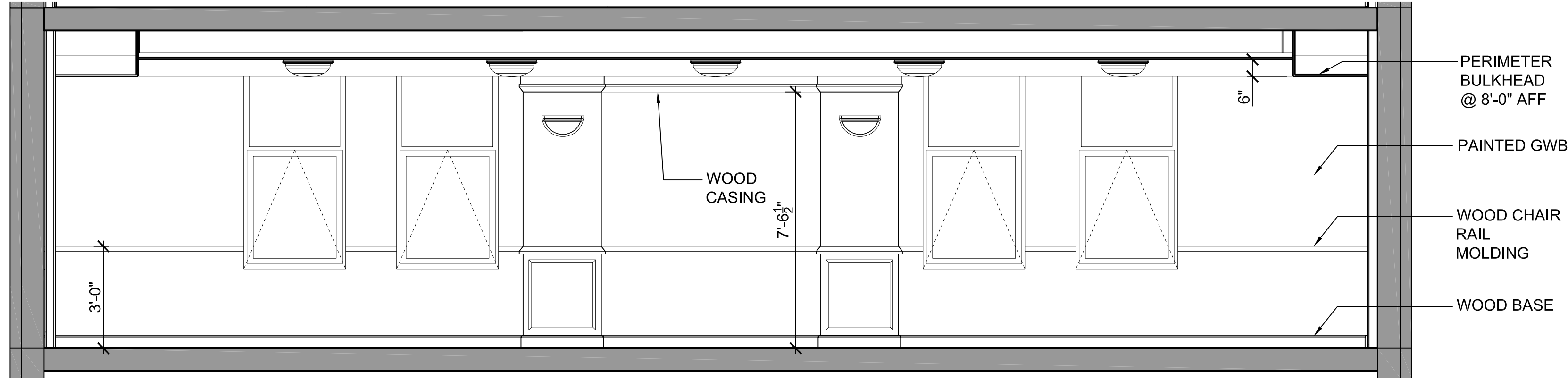
B3 CASEWORK ELEVATION AT DINING ROOM  
3/8" = 1'-0"



B4 CASEWORK ELEVATION AT DINING ROOM  
3/8" = 1'-0"



A1 WINDOW SILL DETAIL  
3" = 1'-0"



A3 CHAPEL WALL ELEVATION  
3/8" = 1'-0"



810 Light Street Baltimore, Md 21230

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.

DGG: License No:9473 Expiration Date:4/7/2015

NO	DATE	PERMIT SET	DESCRIPTION
1	6-17-13	PERMIT SET	

REVISIONS

NOTRE DAME PREP CONVENT RENOVATION

INTERIOR ELEVATIONS & DETAILS

PROJ. NO.: 13007-00	DWG NO A-411
DRAWN BY: SRW/AR	
DATE: 6-13-13	

