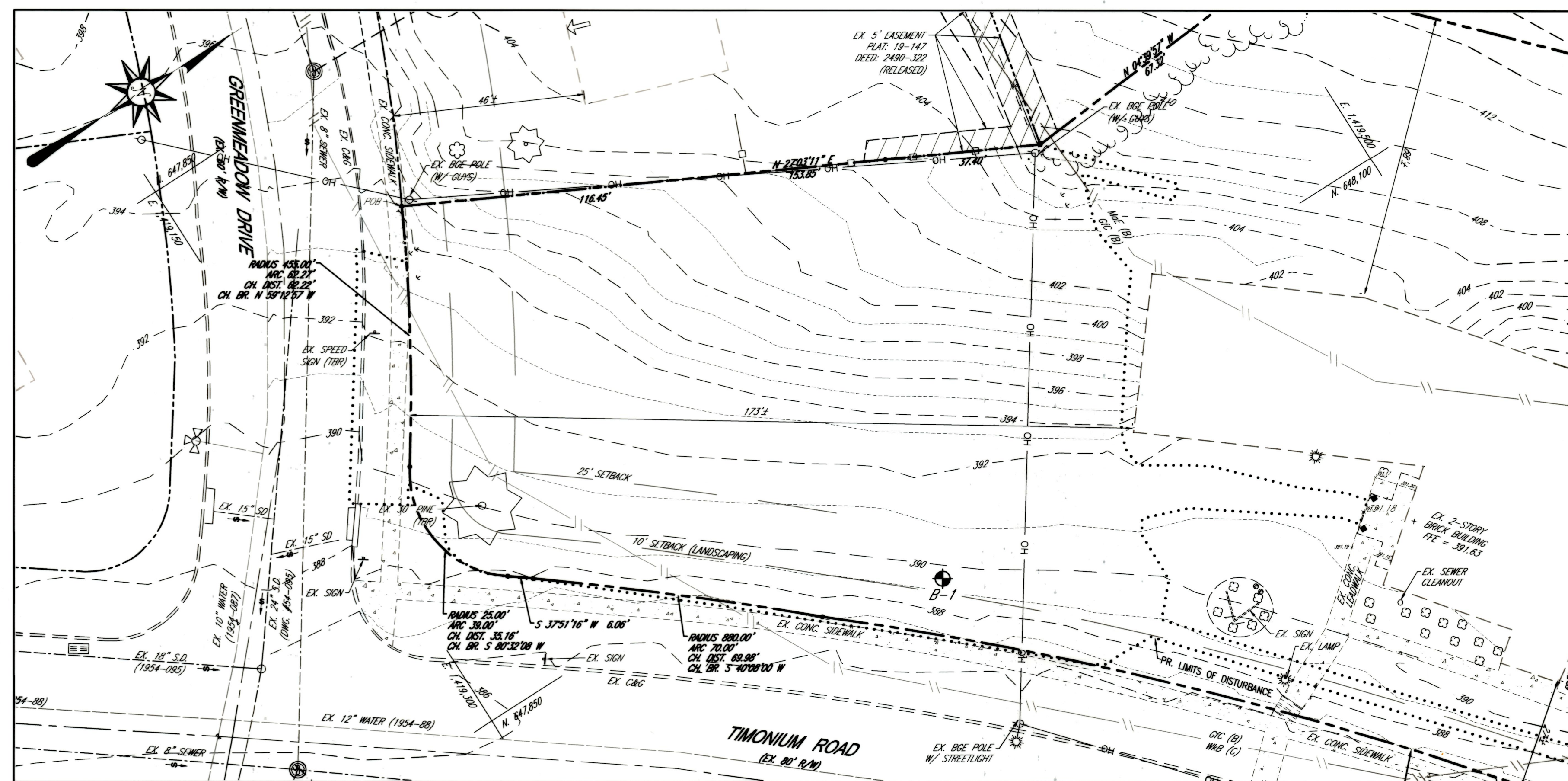


EXISTING CONDITIONS OVERALL SITE PLAN

SCALE: 1" = 40'



EXISTING CONDITIONS INSET

SCALE: 1" = 20'

ENVIRONMENTAL NOTES

- TOPOGRAPHIC INFORMATION WAS OBTAINED FROM BALTIMORE COUNTY GIS TOPOGRAPHY.
- BOUNDARY INFORMATION WAS GENERATED BY FIELD SURVEY AND PREPARED BY JOSEPH THOMPSON & ASSOCIATES (DATED 11/12/2020).
- THERE ARE NO SEPTIC SYSTEMS LOCATED ON THE SITE.
- THERE ARE NO EXISTING WELLS ON THE SITE.
- THERE ARE NO EXISTING UNDERGROUND STORAGE TANKS ON THE SITE.
- THERE ARE NO KNOWN HAZARDOUS MATERIALS AS DEFINED IN SECTION 7-101 OF THE ENVIRONMENTAL ARTICLE OF THE ANNOTATED CODE OF MARYLAND ON THIS SITE.
- THERE ARE NO KNOWN FEDERALLY PROPOSED OR LISTED ENDANGERED OR THREATENED SPECIES KNOWN TO EXIST WITHIN THE PROJECT IMPACT AREA.
- SOILS WERE OBTAINED FROM THE NRCS SOIL SURVEY WEBSITE.
- THIS SITE IS NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
- THE SITE IS NOT LOCATED WITHIN A 100-YEAR FLOODPLAIN.
- THE SITE IS SERVED BY PUBLIC SEWER AND PUBLIC WATER.
- THERE ARE NO KNOWN BUILDINGS, PROPERTIES, OR SITES WHICH ARE ON THE MARYLAND HISTORICAL TRUST INVENTORY OR THE MARYLAND ARCHEOLOGICAL SURVEY.
- WATERSHED: LOCH RAVEN RESERVOIR (02130805).

MAP UNIT SYMBOL	SOILS CHART	HYDROLOGIC SOIL GROUP (HSG)
McE	MANOR LOAM, 25 TO 45 PERCENT SLOPES	B
G/C	GLENELG-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B
W/B	WILTSHIRE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	C

NATURAL RESOURCES AND THE CORRESPONDING REGULATORY AUTHORITIES	
FEDERAL	
WETLANDS	NO
MAJOR WATERWAYS	NO
FLOODPLAINS	NO
STATE	
TIDAL AND NONTIDAL WETLANDS	NO
WETLANDS OF SPECIAL STATE CONCERN	NO
WETLAND BUFFERS	NO
STREAM BUFFERS	NO
PERENNIAL STREAMS	NO
FLOODPLAINS	NO
FORESTS	NO
FOREST BUFFERS	NO
CRITICAL AREAS	NO
LOCAL	
STEEP SLOPES	YES
HIGHLY ERODIBLE SOILS	NO
ENHANCED STREAM BUFFERS	NO
TOPOGRAPHY/SLOPES	SEE PLAN
SPRINGS	NO
SEEPS	NO
INTERMITTENT STREAMS	NO
VEGETATIVE COVER	NO
SOILS	SEE PLAN
BEDROCK/GEOLOGY	SEE PLAN
EXISTING DRAINAGE AREAS	SEE PLAN

GENERAL NOTES:

- OWNER: THE AGAPE CHRISTIAN CHURCH INC
100 E. TIMONIUM ROAD
TIMONIUM, MD 21093
TEL: (410) 252-4255
- AREA OF TRACT: 78,511 SQ.FT. OR 1.80 AC.±
GROSS: 64,416 SQ.FT. OR 1.48 AC.±
NET: 9
- ELECTION DISTRICT: 3
- COUNCILMANIC DISTRICT: 5
- ZONING CLASSIFICATION: DR-5.5 & DR-2
- TAX ACCOUNT NUMBER: 0819001101
- PLAT REFERENCE: 19/147 "HAVERFORD" & 79-157 "STRATFORD SUBDIVISION"
- DEED REFERENCE: 34604/475
TAX MAP GRID: 60
PARCEL: 168
LOT: 6
- ADC MAP (NEW INDEX): 4461A9
- USE: EXISTING CHURCH PROPOSED CHURCH
- WATERSHED: LOCH RAVEN RESERVOIR (02130805)
- SETBACKS FOR ZONING:

	REQUIRED DR-2	PROVIDED DR-5.5	
FRONT	60'	40'	27'±
SIDE (INTERIOR)	30'	20'	71'±
SIDE (CORNER)	50'	35'	173'±
REAR	40'	30'	88'±
- BASIC SERVICE MAPS (2019):

TYPE	DEFICIENT (Y/N)	NOTE
WATER	N	-
SEWER	N	-
TRANSPD.	Y	LOS D ZONE
- THIS SITE DOES NOT INCLUDE NOR IS IT CONTIGUOUS TO ANY BUILDINGS, PROPERTY OR SITES REGISTERED ON THE HISTORICAL INVENTORIES LIST.
- THERE ARE NO KNOWN UNDERGROUND STORAGE TANKS ON SITE.
- THE PROPERTY IS NOT LOCATED IN THE CHESAPEAKE CRITICAL BAY AREA (CBCA).
- ZONING HISTORY: NO KNOWN ZONING HISTORY.
- PREVIOUS PERMITS ON FILE: B867943 FOR EXTERIOR ALTERATIONS INCLUDING WINDOW, DOOR, HVAC, FIXTURES AND FINISHES AND NEW SIDE WALL.
- BOUNDARY SHOWN HEREON WAS PROVIDED BY JOSEPH THOMPSON & ASSOCIATES, LLC BY FIELD SURVEY PERFORMED IN NOVEMBER 2020.
- TOPOGRAPHY SHOWN HEREON WAS PROVIDED BY JOSEPH THOMPSON & ASSOCIATES, LLC BY FIELD SURVEY PERFORMED IN NOVEMBER 2020 AND SUPPLEMENTED WITH BALTIMORE COUNTY GIS TOPOGRAPHY.
- THERE ARE NO FLOODPLAINS ON SITE AS PER FEMA MAP #2400100255F DATED SEPTEMBER 28, 2006.
- PARKING CALCULATIONS:

REQUIRED:	PROVIDED:
1 PER 4 SEATS @ 80 SEATS/4 = 20 SPACES	51 SPACES (3 H.C., 48 STANDARD)

LEGEND

- EXISTING**
- EXISTING BOUNDARY
 - - - EXISTING ADJACENT
 - EXISTING CONCRETE
 - EXISTING CURB
 - EXISTING UNDERLINE
 - EXISTING SANITARY SEWER
 - EXISTING STORM DRAIN
 - EXISTING GAS LINE
 - OH EXISTING OVERHEAD WIRES
 - EXISTING UNDERGROUND ELECTRIC
 - EXISTING ADJACENT BUILDING
 - EXISTING BUILDING
 - EXISTING ZONING LINE
 - EXISTING 10' CONTOUR
 - EXISTING 2' CONTOUR
 - EXISTING ROAD EDGE
 - EXISTING UNDERLINE (SHUTOFF)
 - EXISTING POWER POLE
 - EXISTING STORM DRAIN MANHOLE
 - EXISTING SEWER MANHOLE
 - EXISTING WATER VALVE (PLAN)
 - EXISTING GAS VALVE
 - EXISTING WATER METER
 - EXISTING INLET
 - EXISTING FIRE HYDRANT
 - EXISTING WATER VALVE (SHUTOFF)
 - EXISTING LIGHT POLE
 - EXISTING STREET TREE
 - EXISTING HANDRAIL
- PROPOSED**
- PR. LIMIT OF DISTURBANCE

DESIGN AND DRAWINGS ARE BASED ON MARYLAND COORDINATE SYSTEM (MCS).
HORIZONTAL - NAD 83(2011).
VERTICAL - NAVD 88.

APPROVED: _____ Chief
STORMWATER MANAGEMENT DIVISION
BALTO. CO. DEPT. OF ENVIRONMENTAL PROTECTION AND SUSTAINABILITY

Richardson Engineering, LLC

7 Deneison Street
Timonium, Maryland 21093
Phone: 410-560-1502 Fax: 443-901-1208
MARK@RICHARDSONENGINEERING.NET

FINAL STORMWATER MANAGEMENT EXISTING CONDITIONS / SITE AND RESOURCE MAPPING

100 E TIMONIUM ROAD

TIMONIUM, MARYLAND 21093

BALTIMORE COUNTY 8TH ELECTION DISTRICT MARYLAND 3RD COUNCILMANIC DISTRICT

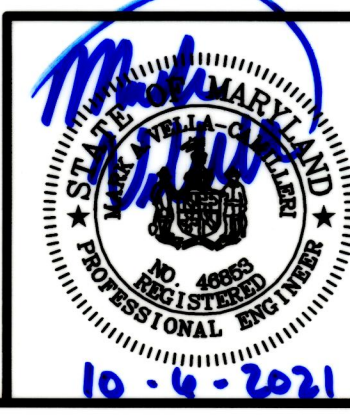
REVISIONS	DRAWN BY:	CHECKED BY:	SCALE:
	MAV	PCR	AS SHOWN
	DATE:	JOB NO.:	SHEET NO.:
	10-6-2021	19213	2 OF 9

OWNER / DEVELOPER

THE AGAPE CHRISTIAN CHURCH INC.
100 E. TIMONIUM ROAD
TIMONIUM, MARYLAND 21093
CONTACT: CHIMA UGHA
PHONE: (410) 252-4255
EMAIL: CHIMAU@AGAPECHURCH.COM

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 46853, EXPIRATION DATE: 06-11-2023.



10-4-2021